



**TENTATIVE AGENDA  
DECEMBER 11, 2024 6 PM.  
ARCHITECTURAL REVIEW BOARD**

The Architectural Review Board will convene at the City of Glendale Auditorium which will be open to the public.

- I. MEETING CALLED TO ORDER
- II. ROLL CALL
- III. APPROVAL OF MINUTES: NOVEMBER 13, 2024
- IV. REVIEW OF PLANS FOR A TWO-STORY ADDITION  
ALEX AND CLAIRE AUBEL, 120 TREVILLIAN AVE.
- V. REVIEW OF PLANS FOR ATTACHED GARAGE AND TWO-STORY  
ADDITION, CHRISTIAN ROBERTS, 66 FREDERICK LN.
- VI. REVIEW OF PLANS FOR A TWO-STORY ADDITION  
TAMSIN MASCETTI, 449 ELM AVE.
- VII. MISCELLANEOUS
- VIII. ADJOURNMENT

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Gabrielle Macaluso  
Deputy City Clerk

POSTED: 4:30 PM, DECEMBER 5, 2024



**MINUTES**  
**ARCHITECTURAL REVIEW BOARD MEETING**  
**NOVEMBER 13, 2024 –6:35 p.m.**

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**CALL TO ORDER**

A meeting of the Architectural Review Board (ARB) of the City of Glendale was held on Wednesday, November 13, 2024. Chairman Jeffrey Fernhoff presided and called the meeting to order at 6:35 p.m.

**ROLL CALL**

Members Present

Members Absent

Chairman Fernhoff  
John Falk  
Reed Voorhees  
Brad Weitekamp  
Jon Emert  
Laura Switzer

Mike Moran

Also present were Frank Johnson, City Administrator; Andrew Bramman, City Attorney; and Gabby Macaluso, Deputy City Clerk

**APPROVAL OF MINUTES**

Chairman Fernhoff moved to approve the minutes from the October 9, 2024 meeting. The motion was seconded by Mr. Weitekamp and unanimously carried.

**REVIEW OF PLANS FOR COVERED PATIO ADDITION–  
Mark and Ellen Fesler, 7 Edwin Ave.**

The proposed project at 7 Edwin Ave. was reintroduced, and Mr. Johnson reminded the members that there were numerous conditions that the ARB had required at the previous meeting on October 9, 2024. He noted that the architect and civil engineer adjusted the plans to meet these requirements. Ellen Fesler, the owner; Chris Pike, the architect; and Wilson Waggoner, the civil engineer were present at the meeting.

Mr. Fernhoff went through the list of conditions with Mr. Pike and Mr. Waggoner to make sure that each one was addressed through the revised plans. The ARB found that each condition was met. The highlights include:

- Downspouts and water dispersal are marked on the plans.
- The roof plan has been corrected to show the elevation of cricket with respect to the new roof eave.
- 1 ft. contours have been added to plans.
- The inlet is owned by MSD and is now noted on the plan.
- The stormwater pipe has been rerouted as to avoid tree roots.
- Polygons have been labeled and addressed in the front yard basin on the plans.
- The pool deck’s slope is now documented on the plans.
- The existing retaining wall is now noted on the plans.

- The homeowner has decided to not add a fence around the pool or provide landscaping breaks for the pool.
- Plant details are now provided in the landscaping plan and meet MSD's BMP approved plan list.

## **ADJOURN**

Mr. Fernhoff made a motion to approve the plans for a covered patio addition at 7 Edwin Ave. The motion was seconded by Mr. Emert and unanimously approved.

Mr. Fernhoff motioned to adjourn the meeting. The motion was seconded by Mr. Weitekamp and unanimously carried to adjourn the meeting at 6:55 p.m.



424 N. Sappington Road Glendale, Missouri 63122 (314) 965-3600 fax (314) 965-4772

APPLICATION FOR ARCHITECTURAL REVIEW BOARD

Adopted by Ord. 03-14, August 4, 2014, Ord. 15-23, August 21, 2023

APPLICATION DATE 11/21/24 DATE OF ARB MEETING 12/11/24 ESTIMATED COST \$250,000

PROJECT ADDRESS 120 Trevillian Ave GLENDALE, MO 63122

NAME OF PROPERTY OWNER Alex and Claire Aubel PHONE NUMBER 314-309-6201

CONTRACTOR (NAME) Campbell House & Home PHONE NUMBER 314-475-2333

CONTRACTOR ADDRESS 3023 Watson Rd, St. Louis, MO 63139

ARCHITECT (NAME) Shaver Architecture, LLC PHONE NUMBER 314-435-8614

ARCHITECT ADDRESS 10700 Leebur Dr., St. Louis, MO 63128

DETAILED DESCRIPTION OF WORK BEING PROPOSED: 2-story addition

FLOOR AREA RATIO 0.22 (FAR = Floor area divided by total area of lot. Floor area includes all areas provided with heat and/or air conditioning. All living space with ceiling heights of sixteen (16) feet or greater shall be counted at 200%. Attached garages shall be counted at 50%. Exclude any finished or unfinished basement, a detached garage, and any unenclosed porch). (See page 6 for more details.)

TOTAL FLOOR AREA OF NEW CONSTRUCTION (SQ. FT.) 1,785

TOTAL FLOOR AREA OF EXISTING STRUCTURE (SQ. FT.) 2,330

TOTAL FLOOR AREA (SQ. FT.) 4,115

TOTAL SQ. FT. OF LOT 19,103 WIDTH AND DEPTH OF LOT (FT.) 100' x 191.06'

HEIGHT OF STRUCTURE 27' NUMBER OF STORIES 2

ESTIMATED COMMENCE DATE March 2025 EST. COMPLETION DATE July 2025

Each application shall be accompanied with payment of a fee as follows:

Addition or Accessory Structure: \$150.00

New Home: \$200.00

Applications must also include 7 copies of the following items collated into individual packets along with a Flash Drive containing the same information. Packets not collated may be accepted for scheduling purposes but will be returned to applicants for collation and are due no later than 12:00 p.m. one week prior to the scheduled ARB meeting. (Please check each item included):

(CHECKLIST ON REVERSE SIDE)

- 1. Existing and Proposed plot plan. Existing and finished or proposed contours to include property boundaries, setbacks and existing structures, and calculated FAR. The City reserves the right to request CAD files or any other information that may be needed to verify that FAR, setbacks, and other measurements are within required limits.
- 2. The location of the current and proposed impervious coverage (must include before and after lot drainage calculations).
- 3. The location of all downspouts and drainage pipes indicating where runoff will be taken. Differential runoff should be captured by a storm water system.
- 4. Proposed landscaping plan. Please see attached Landscape Plan Checklist for further detail. Trees in the public right-of-way must be protected with a fence, frame, or box if they are proximity of any excavation or construction. This “tree protection zone” must be indicated on the plans.
- 5. Floor plans to scale for all proposed structures.
- 6. Color photos of existing property and neighboring properties. For rear additions, include photos of rear yard and neighboring rear yards.
- 7. Provide building elevation of each face of structure to scale. For additions include full elevations of existing structures. Include a color elevation of at least one side of structure.
- 8. Provide information on type of materials that will be used on exterior façade of proposed structure. Provide at least one colored elevation to scale.



SIGNATURE OF APPLICANT

11/21/24

DATE



**Install and maintain tree protection fence as indicated on preservation plan for all trees marked PRESERVE. Silt protection shall be installed in a trenchless manner if introduced within the critical root zone of any tree to be PRESERVED. ( I.E. woodchips, wattles, and hay bales)**

I hereby certify that I have viewed the premises and provided this professional opinion regarding the survivability of significant trees on this site and abutting the site. Attached is a site plan illustrating the recommended location of tree protection fencing. This fence must meet all of the requirements set forth by the city of Glendale and is to remain erect throughout the construction project . All tree inspections were performed from the ground and are limited in scope. Tree and utility locations are approximate and locations of utilities are subject to change.

A handwritten signature in black ink, appearing to read "Nick Wibbenmeyer".

Nick Wibbenmeyer  
I.S.A. Certified Arborist  
MW 6357A



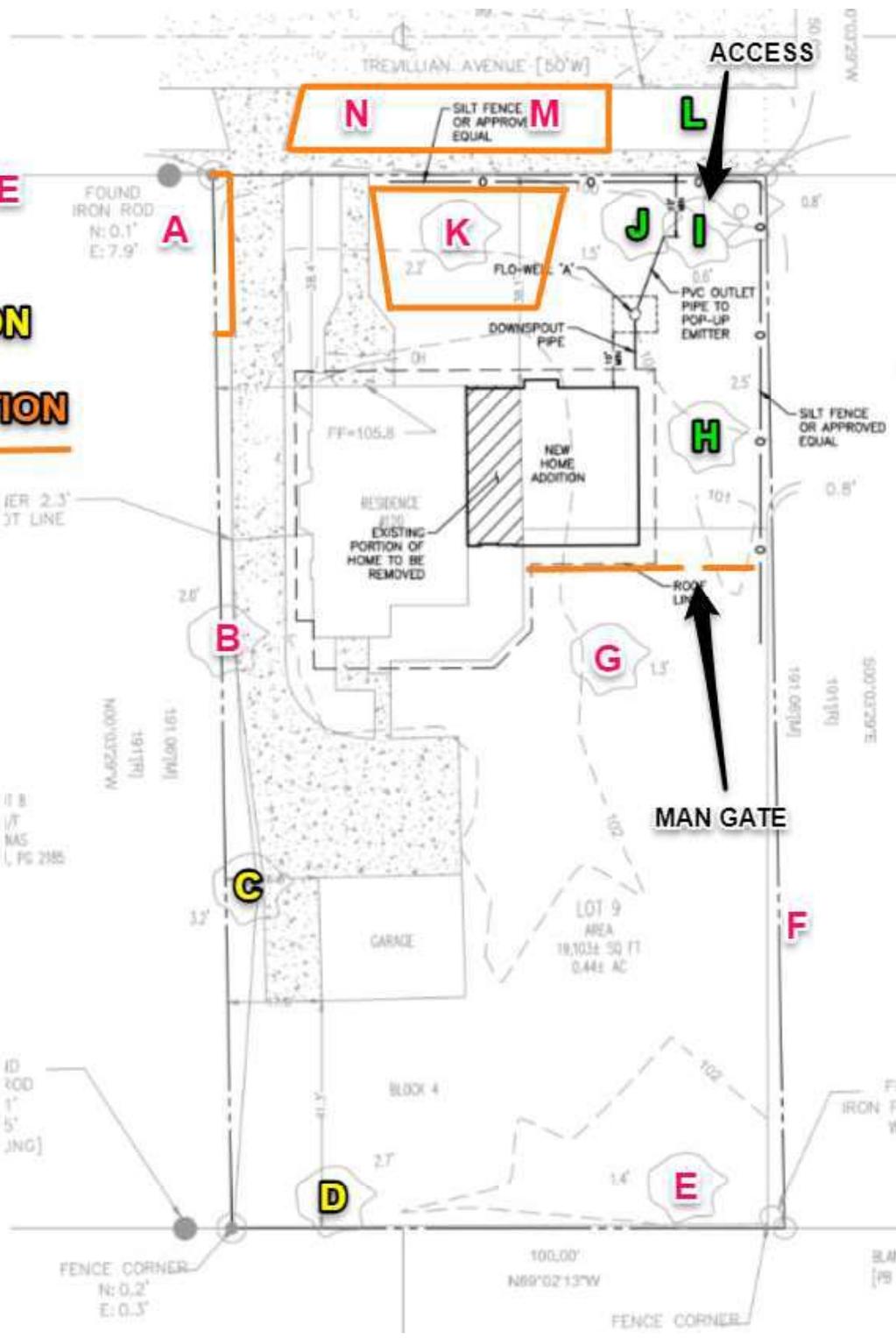
TREE STUDY  
SITE PLAN REVIEW  
11/7/2024  
11/19/2024

PROPERTY LOCATION: 120 Trevillian

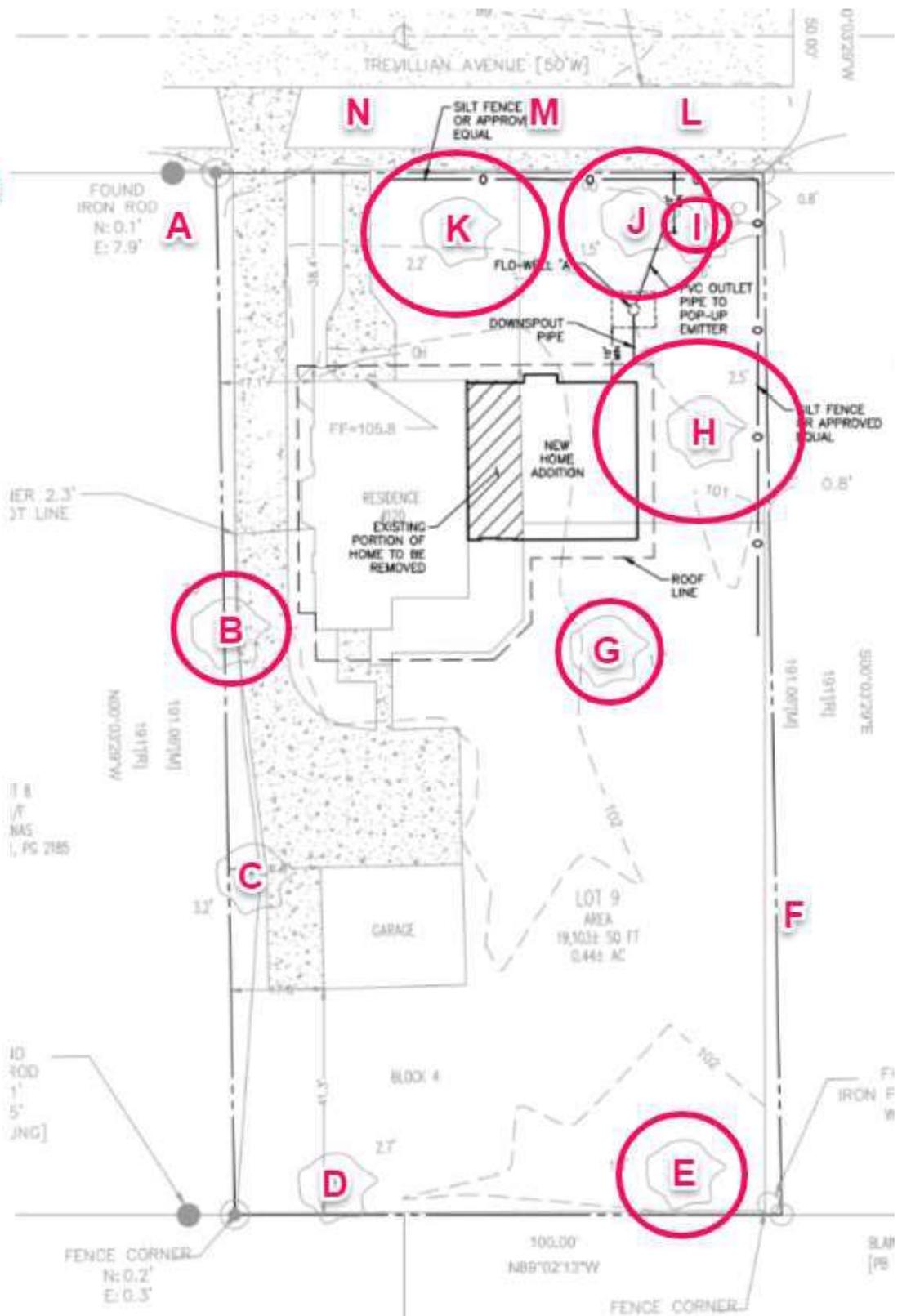
#	TREE SPECIES	D B H	PRESERVE/ TBR/ INSTALL	ADJOINING LOT	COMMENTS	VALUE	PHYS DET %	FUNC OBS %	EXT OBS %	TOTAL CANOPY SQ FT
A	white pine	23"	PRESERVE	YES	gummosing wounds on trunk, strong central leader, minor deadwood	\$4045	72	65	65	----
B	red oak	22"	PRESERVE	SHARED	co-dominant at 20', girdling roots, minor deadwood	\$3930	71	70	65	428
C	dead	33"	KEEP		DEAD	\$5	5	5	5	----
D	dead	37"	KEEP		DEAD SPAR	\$5	5	5	5	----
E	eastern redcedar	17"	PRESERVE		utility pruned, strong central leader, vines on trunk, minor deadwood	\$1935	63	65	65	511
F	hackberry	40"	PRESERVE	YES	co-dominant at 5', minor deadwood	\$16510	73	75	75	----
G	Kentucky coffeetree	13"	PRESERVE		exposed root flare, bifurcations at 7', deadwood	\$1180	61	65	70	299
H	willow oak	26"	TBR		irregular trunk taper, co-dominant at 6', included bark, minor deadwood <b>PROPOSED FOUNDATION</b>	\$4165	58	65	65	1195
I	eastern redbud	6"	TBR		girdling roots, co-dominant at 5', epicormic growth, minor deadwood <b>STORMWATER MITIGATION/ ACCESS</b>	\$220	57	65	65	48
J	sweet gum	19"	TBR		exposed root flare, strong central leader, minor deadwood <b>STORMWATER MITIGATION/ ACCESS</b>	\$2640	64	70	65	637
K	black walnut	22"	PRESERVE		compartmentalized wounds on trunk, bifurcations at 15', deadwood	\$3320	60	65	70	855
L	eastern	3"	TBR	CITY	unfavorable trunk growth structure,	cost to	65	65	65	----

	redbud				minor deadwood <b>ACCESS</b>	replace				
M	eastern redbud	7"	PRESERVE	CITY	co-dominant at 5', epicormic growth, girdling roots, deadwood	\$340	65	65	65	----
N	eastern redbud	8"	PRESERVE	CITY	co-dominant at 6', basal wound, epicormic growth, deadwood	\$430	63	65	65	----
1	sugar maple	2.5"	INSTALL							1000
2	prairie fire crabapple	2.5"	INSTALL							350
3	star magnolia	2.5"	INSTALL							350
4	sugar maple	2.5"	INSTALL							1000
5	white oak	2.5"	INSTALL							1000
6	little leaf linden	2.5"	INSTALL							700
7	eastern redbud	2.5"	INSTALL							700

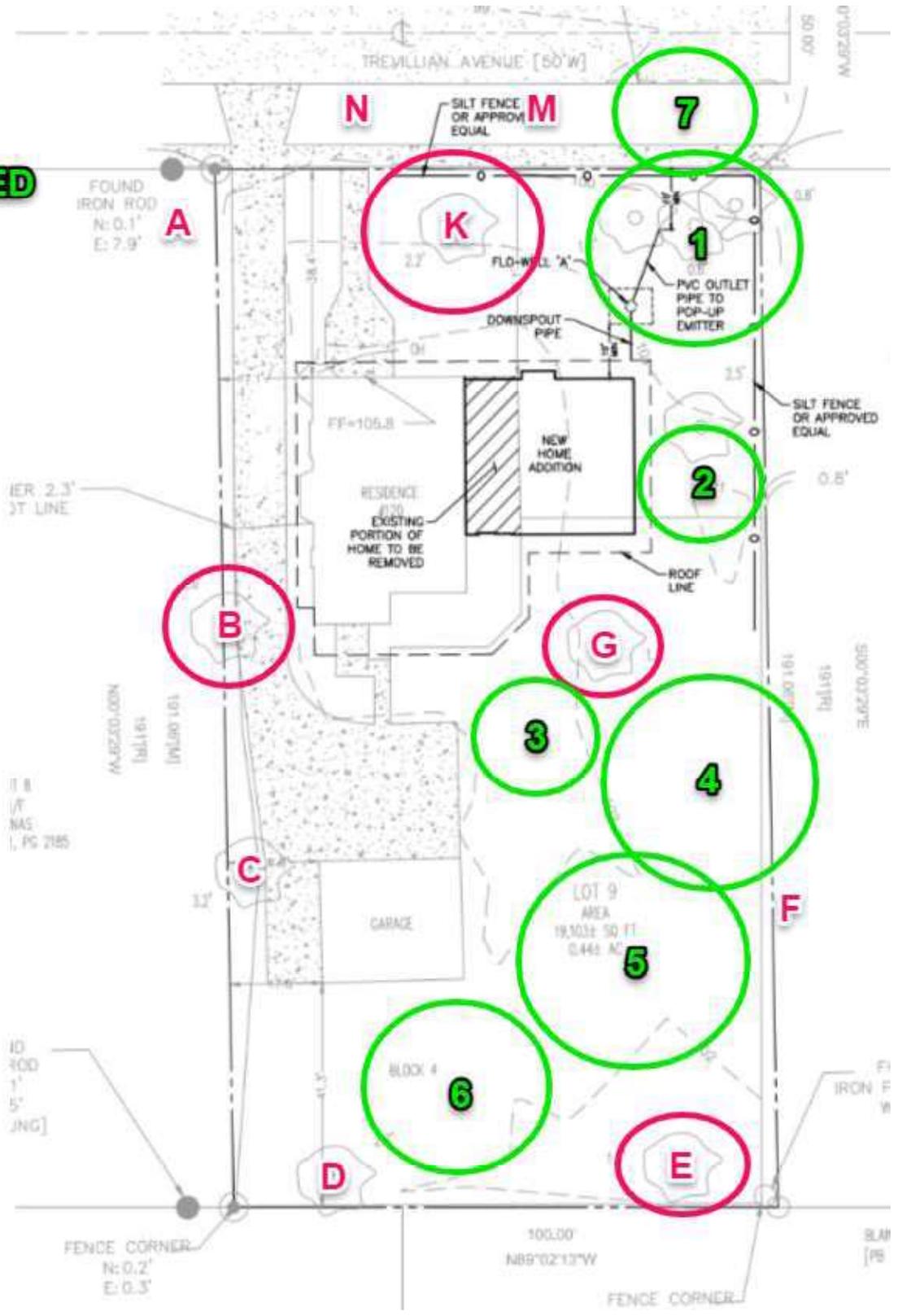
**PRESERVE**  
**TBR**  
**POOR**  
**CONDITION**  
**TREE**  
**PROTECTION**  
**FENCE**



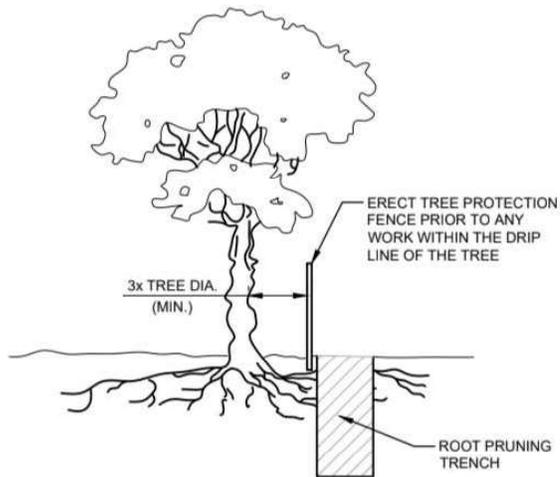
**EXISTING CANOPY**



**PROPOSED CANOPY**



<b>Large = 1,000 sq ft</b>	<b>Medium = 700 Sq ft</b>	<b>Small = 350 sq ft</b>
white oak species	eastern redbud	pawpaw
red oak species	river birch	flowering dogwood
London planetree	sassafras	American plum
sycamore	littleleaf linden	star magnolia
Amur corktree	blackgum	sweetbay magnolia
Japanese zelkova	red horschestnut	Higan cherry
ginkgo	paperbark maple	serviceberry
sugar maple	crimson maple	Japanese maple
black maple	American holly	amur maple
yellow birch	Scots pine	trident maple
American beech	balsam fir	hornbeam
baldcypress	eastern hemlock	mugo pine
tulip poplar	saucer magnolia	bristlecone pine
hackberry	shortleaf pine	blue atlas cedar
black walnut	Colorado spruce	hawthorn
pecan	weeping willow	red buckeye
Kentucky coffeetree	Ohio buckeye	
honeylocust	dawn redwood	
black locust	Douglas fir	
shagbark hickory		
American yellowwood		
southern magnolia		
eastern white pine		
Norway spruce		
American basswood		



NOTES:

1. ROOT PRUNING SHALL BE DONE WHENEVER THERE WILL BE GRADING, CUTTING OR COMPACTION DISTURBANCE UNDERNEATH THE DRIP LINE OF A TREE. PRIOR TO ANY WORK WITHIN DRIP LINE, THE CONTRACTOR SHALL ERECT A TREE PROTECTION FENCE AND CONTACT AN ISA CERTIFIED ARBORIST TO COORDINATE WORK. NO DISTURBANCE SHALL BE DONE WITHIN A DISTANCE OF 3X THE DIAMETER OF THE TREE, DUE TO STABILITY CONCERNS.
2. ROOT PRUNING SHALL BE DONE WITH A SHARP TOOL, IN SUCH A WAY THAT DOES NOT PULL ON THE ROOTS, BUT LEAVES SMOOTH CUTS. DO NOT TEAR ROOTS WITH EXCAVATION EQUIPMENT. IT IS PREFERABLE TO EXPOSE THE ROOTS PRIOR TO ROOT PRUNING. AFTER PRUNING, FILL THE AREA WITH QUALITY TOPSOIL AND WATER UNTIL THOROUGHLY SOAKED.
3. ONCE EXPOSED, ROOTS MUST BE COVERED WITHIN 8 HOURS. IF ROOTS WILL BE LEFT EXPOSED FOR LONGER THAN 8 HOURS, THEY MUST BE KEPT MOIST. ONE OPTION IS TO PUT MOIST BURLAP OVER THE EXPOSED ROOTS.

NOTES (CONT.):

4. ROOT PRUNING SHALL MEET OR EXCEED ANSI A300 OR APPROVED TREE CARE INDUSTRY STANDARDS.

DIGGING PROCESS

1. THE PRUNING TRENCH SHOULD BE CLEARED IN A WAY THAT EXPOSES THE ROOTS WHILE LEAVING THEM INTACT.
  - 1.1. USE HAND TOOLS OR AN AIR KNIFE II) DO NOT USE AN EXCAVATOR, AS THIS WILL PULL ON THE ROOTS AND POSSIBLY DAMAGE THE TRUNK III) IF A ROOT LARGER THAN 2" IS EXPOSED, LEAVE THIS ROOT INTACT AND CONTACT LANDSCAPE SERVICES
  2. ONCE THE ROOTS ARE EXPOSED, USE A SHARP TOOL TO CLEANLY CUT ALL ROOTS WHICH ARE BETWEEN 1-2" DIAMETER, TO THE DEPTH OF THE PROPOSED DISTURBANCE
    - 2.1. APPROPRIATE TOOLS INCLUDE SHARP LOPPING SHEARS, HANDSAWS, A SHARPENED AXE, A ROOT PRUNER GRINDER, A RECIPROCATING SAW AND ANY OTHER SHARP TOOL WHICH LEAVES A CLEAN CUT
    - 2.2. YOU MAY NOT USE A CHAINSAW OR CHAIN TRENCHER TO MAKE THE FINAL CUTS
    - 2.3. ALL ROOTS SHALL BE LEFT WITH A CLEAN, SMOOTH ENDS AND NO RAGGED EDGES
3. POST PRUNING
  - 3.1. TREE ROOTS MUST BE KEPT MOIST. IF ROOTS ENDS WILL BE LEFT EXPOSED FOR MORE THAN 8 HOURS, COVER THE HOLE WITH MOIST BURLAP.
  - 3.2. FILL THE HOLE WITH HIGH QUALITY TOP SOIL, MULCH THE AREA WITH TRIPLE SHREDDED HARDWOOD TO A DEPTH OF 3", AND WATER WELL.

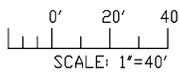
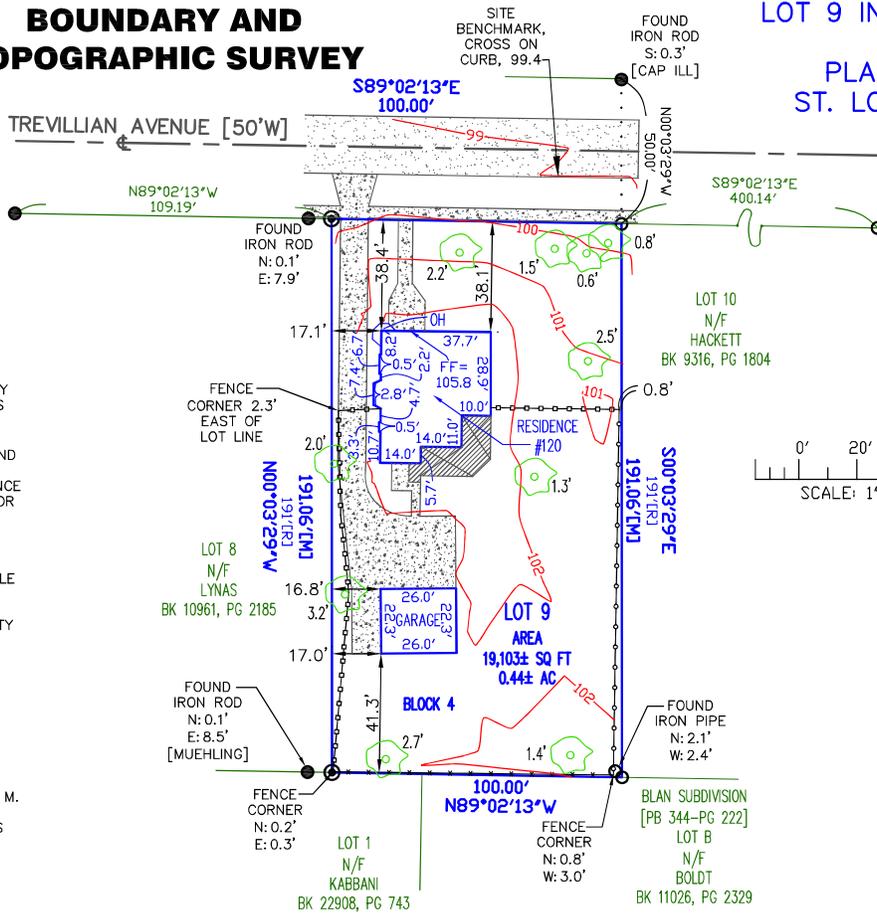


JARED MINNICK  
LAND SURVEYOR  
PLS-2007017968

NOTES:  
 - THIS BOUNDARY AND TOPOGRAPHIC SURVEY WAS PERFORMED AT THE REQUEST OF AND IS CERTIFIED TO TRUE TITLE/CHICAGO TITLE INSURANCE COMPANY/CLAIRE & ALEXANDER AUBEL DURING THE MONTH OF JULY, 2024 AND IS NON TRANSFERABLE.  
 - THIS SURVEY WAS EXECUTED IN ACCORDANCE WITH THE CURRENT MISSOURI STANDARDS FOR PROPERTY BOUNDARY SURVEYS, CLASS OF SURVEY: URBAN PROPERTY, BOUNDARY LOCATIONS HAVE BEEN ESTABLISHED USING EVIDENCE FOUND AND SHOWN ON THIS PLAT.  
 - THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY SURVEYOR. ALL INFORMATION REGARDING RECORD EASEMENTS, AND OTHER DOCUMENTS WHICH MIGHT AFFECT THE QUALITY OF TITLE TO TRACT AS SHOWN HEREON WAS GAINED FROM TITLE COMMITMENT NUMBER CL194008 PREPARED BY CHICAGO TITLE INSURANCE COMPANY DATED NOVEMBER 6, 2019. ANY ADDITIONAL EASEMENTS AND/OR EXCEPTIONS REPORTED IN SCHEDULE B - SECTION 2 OF THE ABOVE REFERENCED COMMITMENT SHOWN OR NOTED ON THIS SURVEY: NONE.  
 - SUBJECT PROPERTY NOW OR FORMERLY OWNED BY: AUBEL, CLAIRE M. & ALEXANDER M. BK 23836 PG 64  
 - BASIS OF BEARING: ASSUMED, LOT ANGLES ADOPTED FROM RECORD PLAT AND FOUND MONUMENTS AS SHOWN.

# BOUNDARY AND TOPOGRAPHIC SURVEY

LOT 9 IN BLOCK 4 OF GLENDALE TERRACE  
 PLAT BOOK 9 PAGE 35,  
 ST. LOUIS COUNTY RECORDS



LEGEND	
[Pattern]	CONC
[Pattern]	WOOD
[Pattern]	ASPH
○	FOUND IRON ROD [2009001156]
○	FOUND IRON PIPE
●	FOUND IRON ROD
—	CHAIN LINK
—	IRON FENCE
—	WIRE FENCE
○	TREE X.X' DIA.
[M]	MEASURED
[R]	RECORD

**MINNICK SURVEYING, LLC**  
 LC-2009001156  
 3520 HAMPTON AVE.  
 ST. LOUIS, MO 63139  
 (314) 721-9500  
 MINNICKSURVEYING.COM

PROJECT: 120 TREVILLIAN AVENUE, GLENDALE, ST. LOUIS COUNTY, MO  
 JOB NUMBER: 7663-A  
 DRAWN BY: LGH  
 DATE PREPARED: 7/2/24











114 TREVILLIAN (NEIGHBOR TO THE EAST)



REAR FACADE



WEST FACADE



130 TREVILLIAN (NEIGHBOR TO THE WEST)



REAR FACADE



FRONT FACADE



121 TREVILLIAN (NEIGHBOR ACROSS THE STREET)  
EXISTING NEIGHBORHOOD CONTEXT



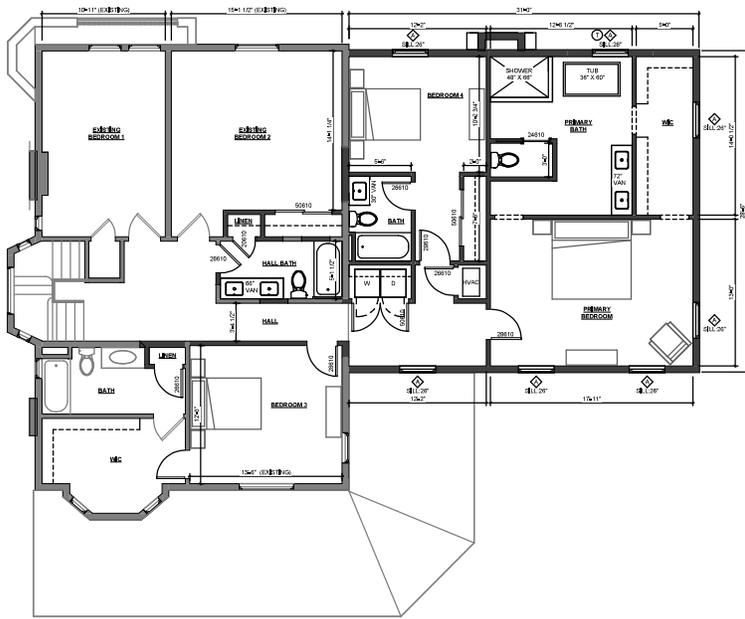
EXISTING CONDITIONS

EAST FACADE

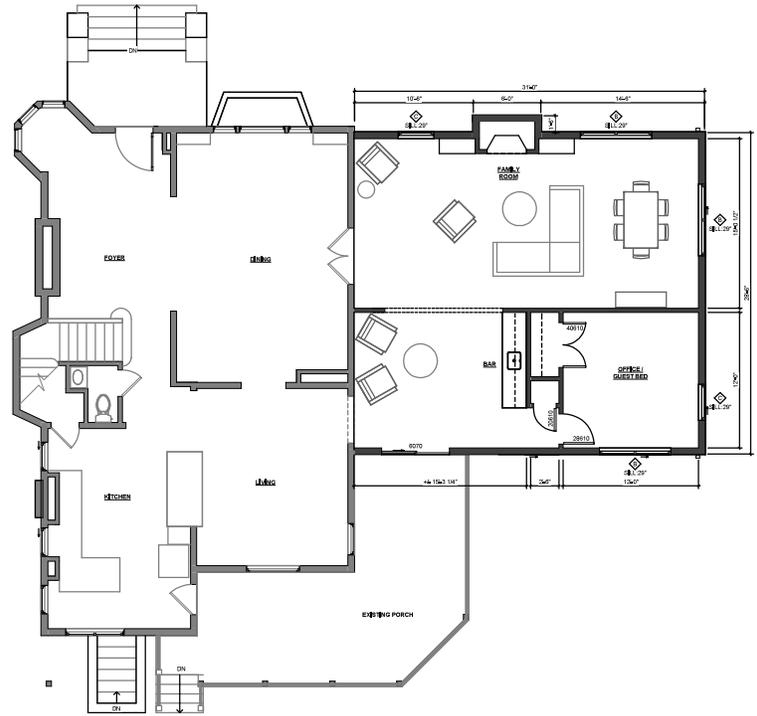


FRONT FACADE

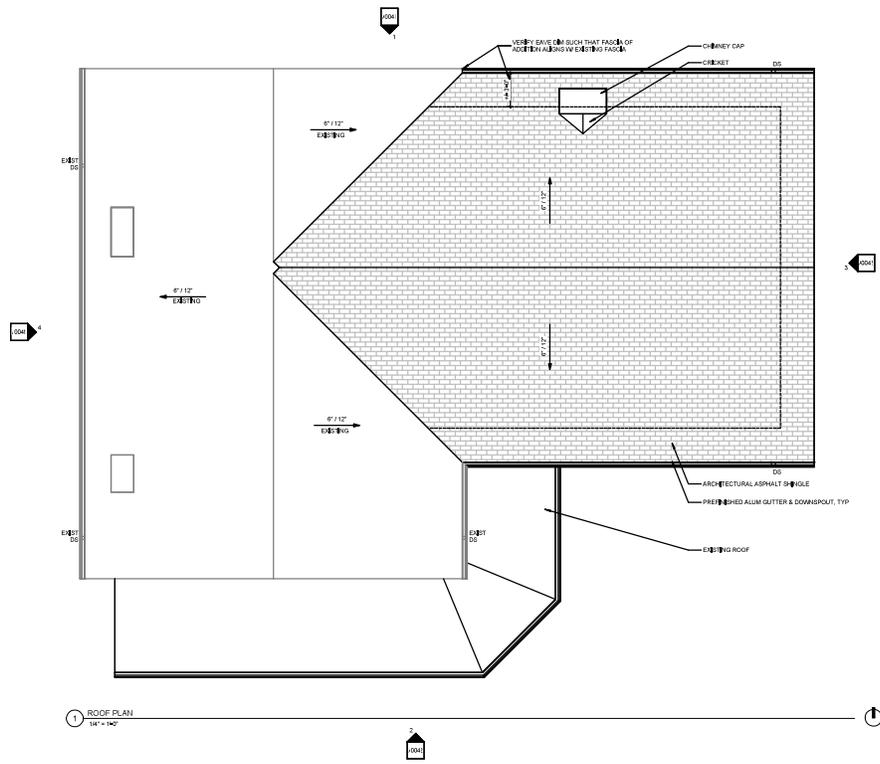
120 TREVILLIAN  
10/11/2024



2ND FLOOR PLAN  
1/4" = 1/4"



1ST FLOOR PLAN  
1/4" = 1/4"





REAR



FRONT

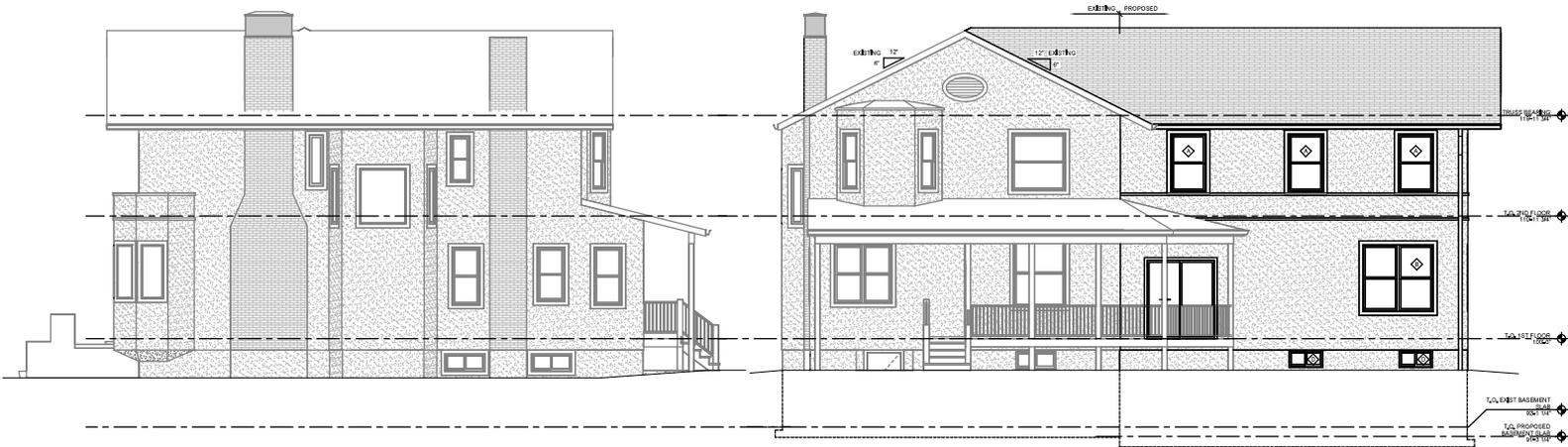


SIDE



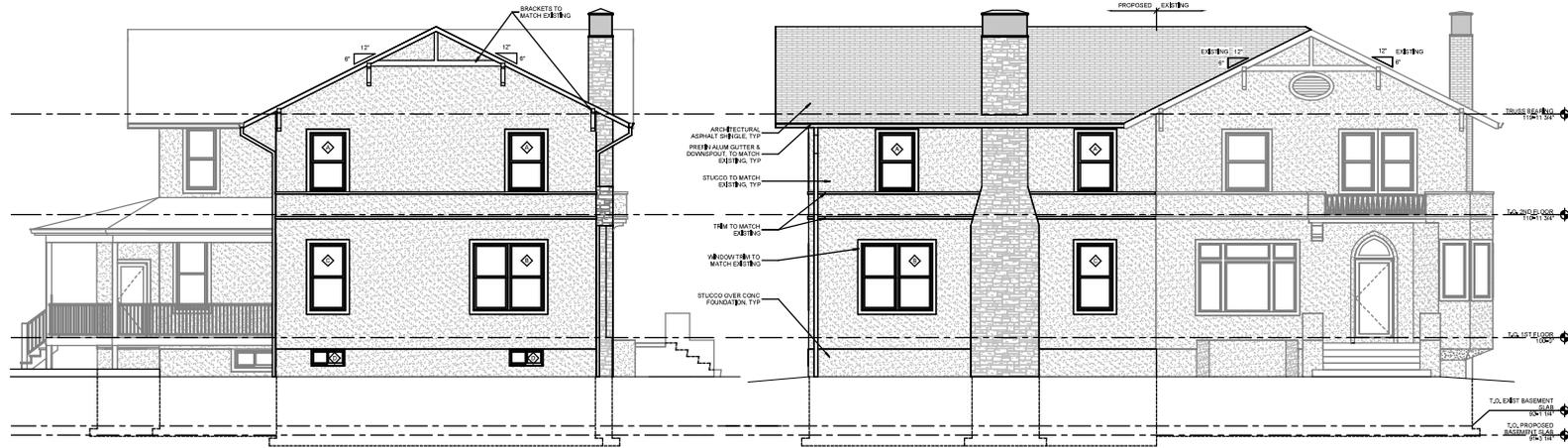
FRONT

PROPOSED MASSING / EXTERIOR



4 WEST ELEVATION (EXISTING FOR REFERENCE - NO WORK PROPOSED)  
1/4" = 1'-0"

2 SOUTH ELEVATION  
1/4" = 1'-0"

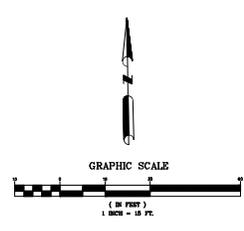
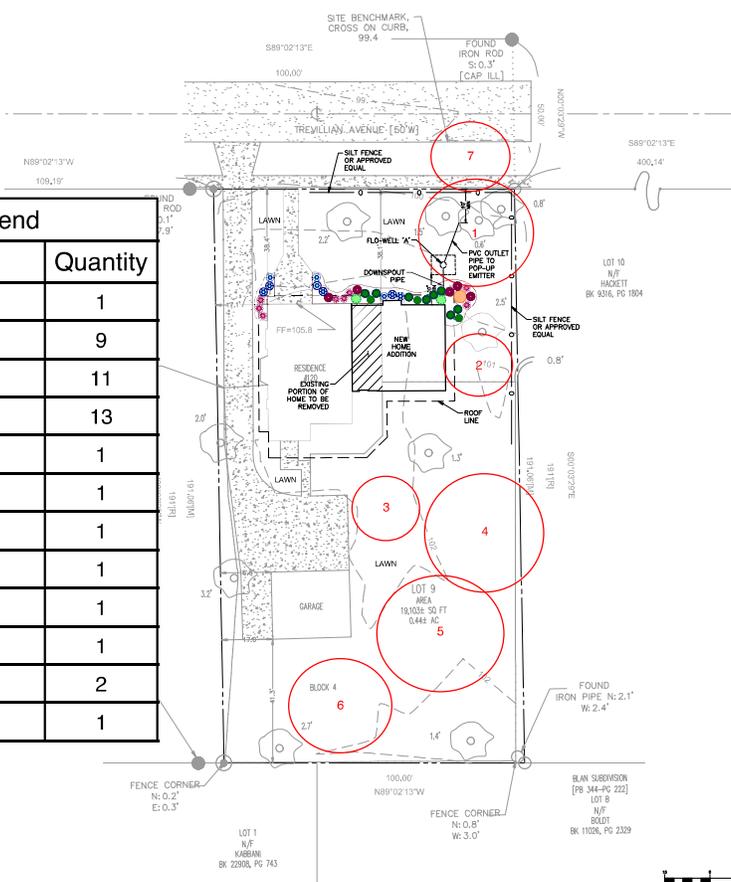


3 EAST ELEVATION  
1/4" = 1'-0"

1 NORTH ELEVATION  
1/4" = 1'-0"

- ARCHITECTURAL ASPHALT GUTTER, TYP
- PRE-FAB ALUM GUTTER & DOWNSPUT TO MATCH EXISTING, TYP
- STUCCO TO MATCH EXISTING, TYP
- TRIM TO MATCH EXISTING
- W/DOOR TRIM TO MATCH EXISTING
- STUCCO OVER CONC FOUNDATION, TYP

Planting Legend		
	Description	Quantity
7	Eastern Redbud - 2.5"	1
8	Evergreen Shrub - 5 gal <i>China Holly / Sea Green / Inkberry</i>	9
9	Evergreen Shrub - 5 gal <i>Bloomswood</i>	11
10	Flowering Shrub - 5 gal <i>Weigela / Hydrangea / Spiraea</i>	13
6	Little Leaf Linden - 2.5"	1
11	Ornate Tree - 2" <i>Japanese Maple / Coral Barked Crab</i>	1
2	Prairie Fire Crabapple - 2.5"	1
3	Star Magnolia - 2.5"	1
4	Sugar Maple - 2.5"	1
1	Sugar Maple - 2.5"	1
12	Upright Evergreen - 5" <i>Eastern Green Arborvitae / Taylor Juniper</i>	2
5	White Oak - 2.5"	1



PROJECT REVISIONS	
NO.	DESCRIPTION

**120 Trevillian Ave.**  
Glendale, MO 63122

Plans are prepared for  
Shaver Architecture, LLC  
(314) 655-8514  
www.shaverarchitecture.com

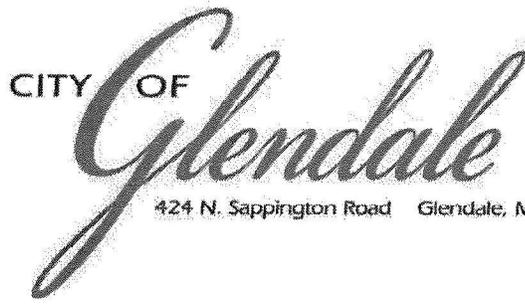
DATE: 12/02/2024  
DRAFTED BY:  
APPROVED BY:

SHEET TITLE:  
LANDSCAPE PLAN

SHEET NUMBER:  
**L1**

PROJECT NO: 24-063





424 N. Sappington Road Glendale, Missouri 63122 (314) 965-3600 fax (314) 965-4772

Del. on 11/15/24  
jrw

### APPLICATION FOR ARCHITECTURAL REVIEW BOARD

Adopted by Ord. 03-14, August 4, 2014, Ord. 15-23, August 21, 2023

APPLICATION DATE 11/15/24 DATE OF ARB MEETING 12/10/24 ESTIMATED COST TBD

PROJECT ADDRESS 66 Frederick Ln. St. Louis, MO 63112 GLENDALE, MO 63122

NAME OF PROPERTY OWNER Christian Roberts PHONE NUMBER 314-836-6059

CONTRACTOR (NAME) TBD PHONE NUMBER \_\_\_\_\_

CONTRACTOR ADDRESS TBD

ARCHITECT (NAME) Max Bemberg PHONE NUMBER 314 626 3230

ARCHITECT ADDRESS 8001 Clayton Rd C Clayton, MO 63117

DETAILED DESCRIPTION OF WORK BEING PROPOSED: Residential renovation and addition. New attached garage + New second floor addition

FLOOR AREA RATIO 0.3 = 5,652<sup>max</sup> (FAR = Floor area divided by total area of lot. Floor area includes all areas provided with heat and/or air conditioning. All living space with ceiling heights of sixteen (16) feet or greater shall be counted at 200%. Attached garages shall be counted at 50%. Exclude any finished or unfinished basement, a detached garage, and any unenclosed porch). (See page 6 for more details.)

TOTAL FLOOR AREA OF NEW CONSTRUCTION (SQ. FT.) 5427

TOTAL FLOOR AREA OF EXISTING STRUCTURE (SQ. FT.) 2,034

TOTAL FLOOR AREA (SQ. FT.)

TOTAL SQ. FT. OF LOT 18,840 WIDTH AND DEPTH OF LOT (FT.) 120 x 157

HEIGHT OF STRUCTURE 28' NUMBER OF STORIES 2

ESTIMATED COMMENCE DATE Spring 2025 EST. COMPLETION DATE Spring 2026

Each application shall be accompanied with payment of a fee as follows:

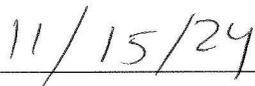
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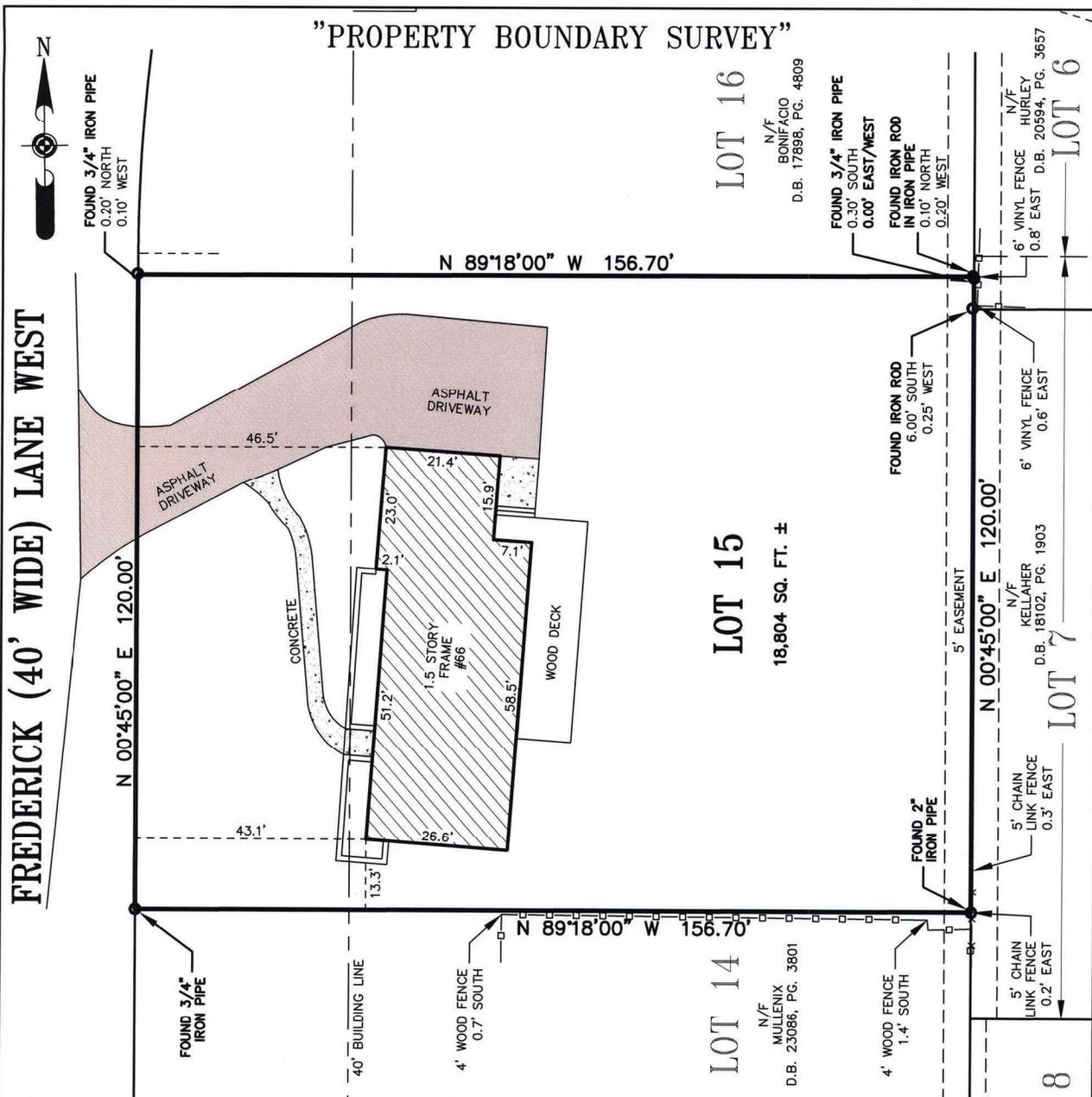
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- 2. The location of the current and proposed impervious coverage (must include before and after lot drainage calculations).
- 3. The location of all downspouts and drainage pipes indicating where runoff will be taken. Differential runoff should be captured by a storm water system.
- TBD 4. Proposed landscaping plan. Please see attached Landscape Plan Checklist for further detail. Trees in the public right-of-way must be protected with a fence, frame, or box if they are proximity of any excavation or construction. This "tree protection zone" must be indicated on the plans.
- 5. Floor plans to scale for all proposed structures.
- 6. Color photos of existing property and neighboring properties. For rear additions, include photos of rear yard and neighboring rear yards.
- 7. Provide building elevation of each face of structure to scale. For additions include full elevations of existing structures. Include a color elevation of at least one side of structure.
- 8. Provide information on type of materials that will be used on exterior façade of proposed structure. Provide at least one colored elevation to scale.

  
SIGNATURE OF APPLICANT

  
DATE

"PROPERTY BOUNDARY SURVEY"



Old Republic National Title Insurance Company, Issuing Agent: U.S. Title Guaranty Company  
 Commitment Number: 2046019-11420, Dated: August 13, 2019  
 Item 4: Building Lines and Easements in Plat Book 34 Page 70 (Unless otherwise noted, the Building Lines and Easements were taken from this Instrument).  
 Item 5: Easement to Union Electric Company in Book 1100 Page 510 (affects other areas), Book 1383 Page 441 (affects other areas) and Book 1624 Page 425 (in easements and Frederick Lane).  
 Item 6: Easement to St. Louis County Gas Company in Book 1039 Page 579 (affects other areas), Book 1421 Page 34 (unable to determine exact location due to vague description), Book 1568 Page 636 (affects other areas), Book 1634 Page 543 (in easements and Frederick Lane) and Book 1623 Page 38 (in easements and Frederick Lane).  
 Item 7: Easement to St. Louis County Water Company in Book 1030 Page 457, Book 1619 Page 25 and Book 1776 Page 294 (in easements and Frederick Lane).  
 Item 8: Easement to the City of Glendale in Book 1388 Page 204 (affects other areas).  
 Item 9: Easement for private road in Book 1049 Page 286 (affects other areas).

This is to certify that we, **James Surveying Company**, at the request of **Christian Frazer Roberts & Maren Louise Pratt and U.S. Title Guaranty Company**, we have, on the **6th day of September, 2019**, to the best of our ability and judgment, executed a Property Boundary Survey in accordance with the "Missouri Standards for Property Boundary Surveys" as established by the Missouri Board for Architects, Professional Engineers and Land Surveyors and the Missouri Department of Agriculture, Division of Geology and Land Survey, on **Lot 15 in Block 2 of FREDERICK LANE, according to the plat thereof recorded in Plat Book 34, Page 70 of the St. Louis County Records in St. Louis County, Missouri**, and that this Survey reflects all visible improvements, including fences and Easements, as depicted on the Record Plat and on the above mentioned Title Commitment. The subject property is an URBAN property as defined in said Standards. The Bearing Reference System, Building Lines and Easements, unless otherwise referenced, are taken from the Record Plat, the current Zoning Set Backs may not be shown. **This Boundary Survey is non-transferable.**

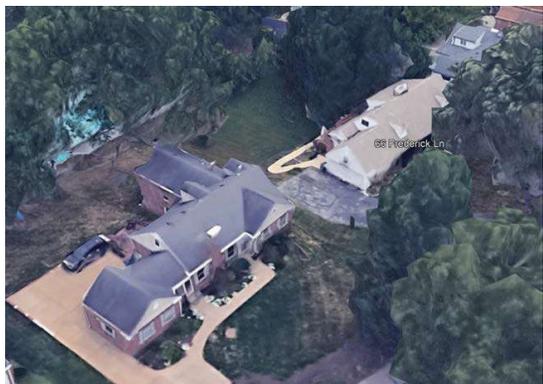


Surveyed by: M. Brusca  
 Drafted by: KSL  
 Dated: September 12, 2019  
 Revised: -

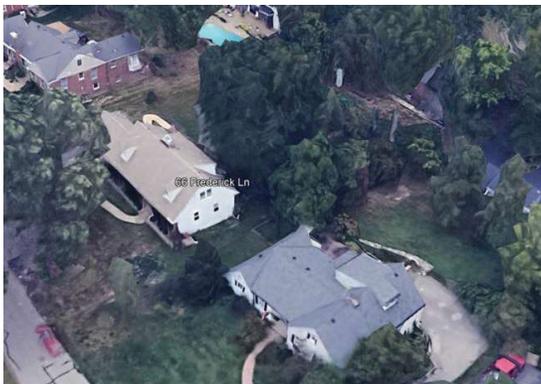


*Leo Klutho*  
**LEO J. KLUTHO**  
 Professional Land Surveyor  
 In Responsible Charge  
 MISSOURI REGISTRATION NUMBER: PLS-2005019212  
**211330**

SHEET 2 OF 2



AERIAL VIEW - NORTH NEIGHBOR



AERIAL VIEW - SOUTH NEIGHBOR



SOUTHWEST CORNER



WEST (FRONT) ELEVATION



SOUTH ELEVATION



SOUTHEAST CORNER



NORTH SIDE ENTRY



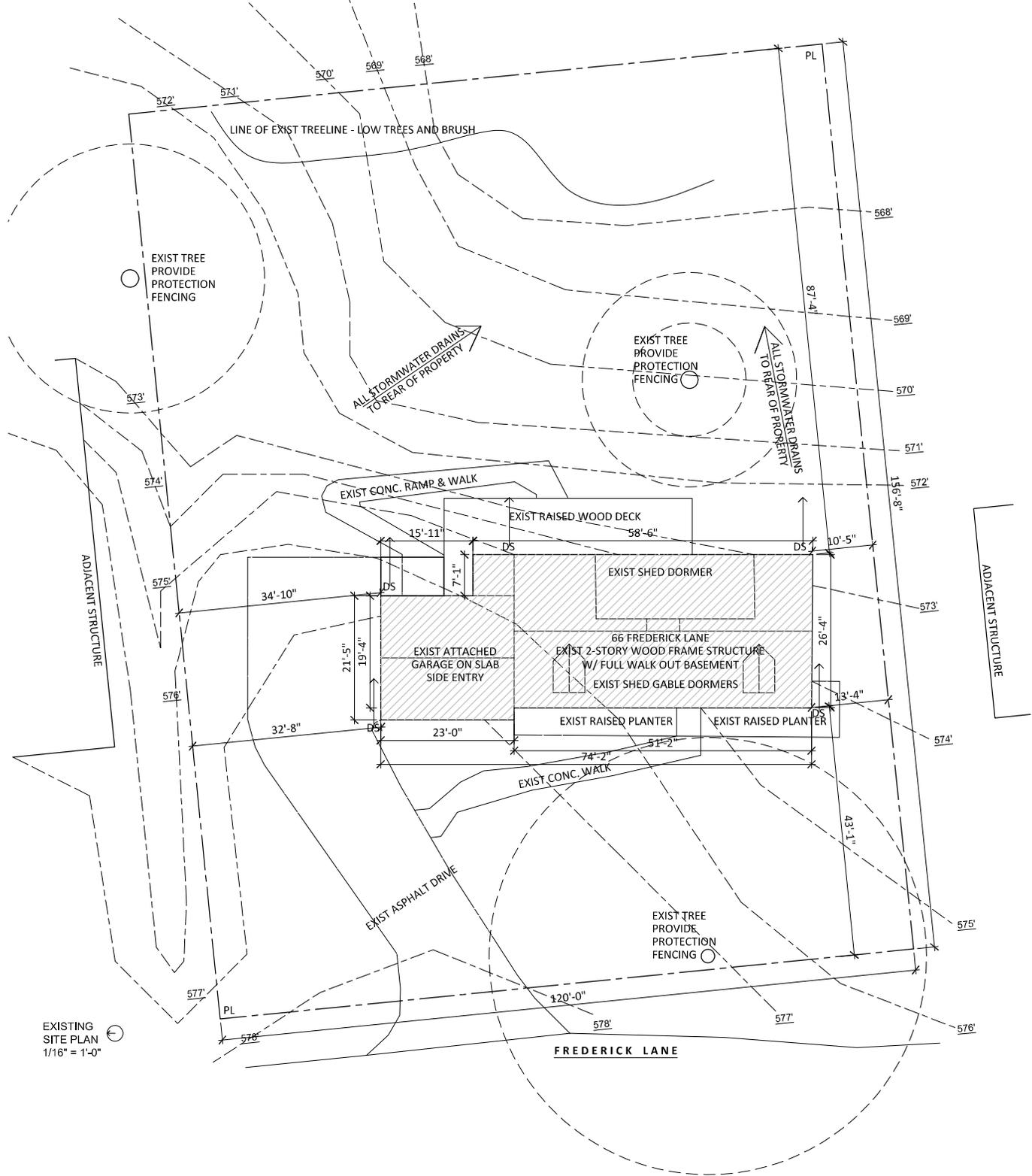
NORTHEAST CORNER CLOSE



NORTHEAST CORNER FAR

11/15/24  
66 FREDERICK LN  
ARB SUBMITTAL

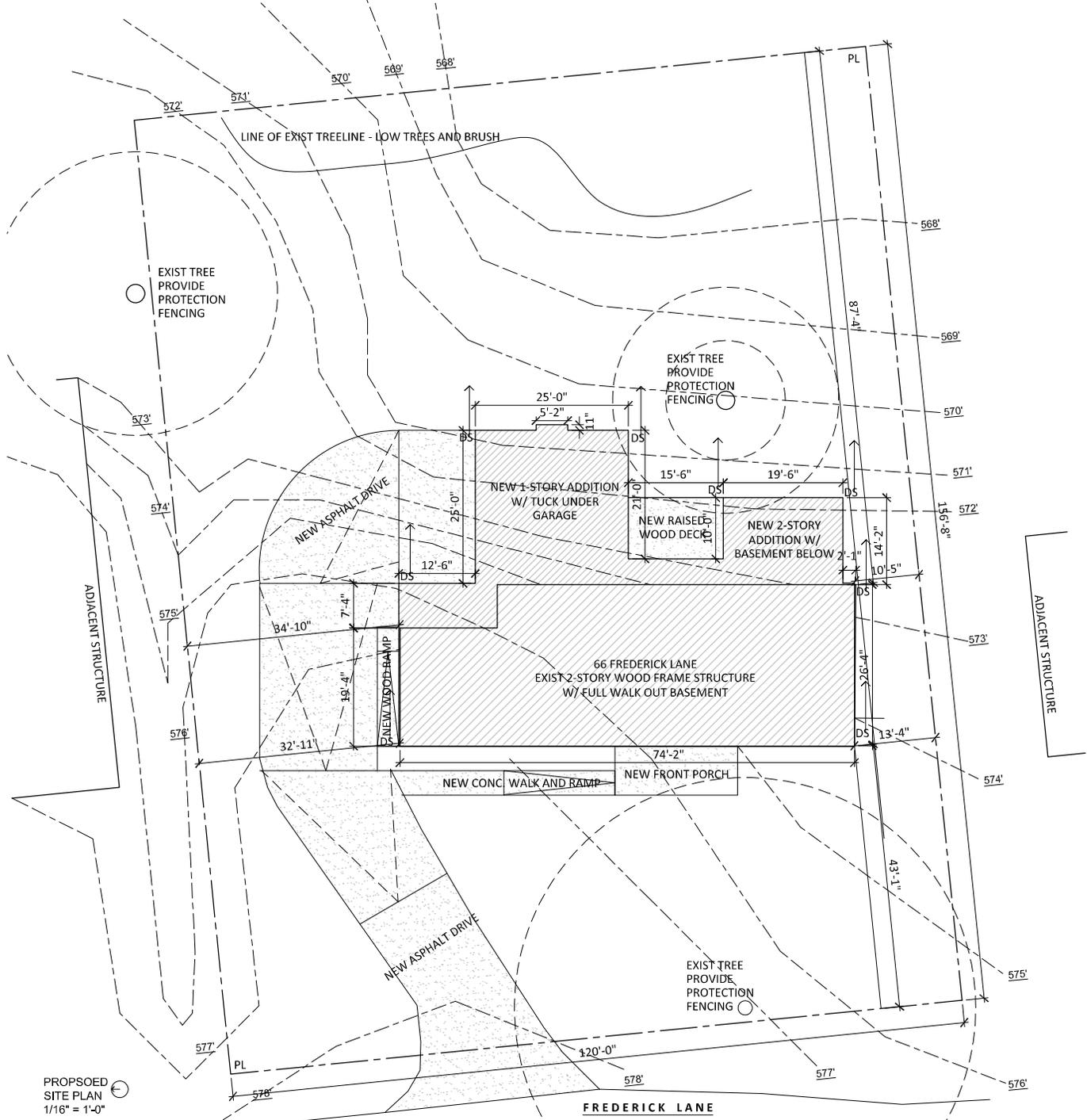
BEMBERG ARCHITECTURE  
info@bembergarchitecture.com  
314-626-3230



SITE AREA: 18,840 SF  
 MAX FAR - 0.3 = 5,652 SF ALLOWED

CURRENT HOUSE TOTAL TO FAR = 2034 SF

CURRENT IMPERVIOUS AREA  
 1,894 SF HOUSE + 2,781 SF DRIVEWAY, WALKWAYS, DECKS  
 4,678 SF TOTAL IMPERVIOUS (25% OF SITE AREA)



SITE AREA: 18,840 SF  
 MAX FAR - 0.3 = 5,652 SF ALLOWED

CURRENT HOUSE TOTAL TO FAR = 2034 SF  
 -  
 PROPOSED SECOND FLOOR = 1,908 SF  
 PROPOSED FIRST FLOOR = 2,939 SF  
 PROPOSED BASEMENT = 580 SF  
 PROPOSED TOTAL TO FAR = **5,427 SF** (COMPLIES - 5,652 ALLOWED)

-  
 CURRENT IMPERVIOUS AREA  
 1,894 SF HOUSE + 2,781 SF DRIVEWAY, WALKWAYS, DECKS  
 4,678 SF TOTAL IMPERVIOUS (25% OF SITE AREA)

PROPOSED IMPERVIOUS AREA  
 2,944 SF HOUSE + 2,985 SF DRIVEWAY, WALKWAYS, DECKS  
 5,929 SF TOTAL IMPERVIOUS (31% OF SITE AREA)

- EXTERIOR SIDING MATERIALS**
- S1 - 8" HARDILAP SIDING
  - S2 - 4" VERTICAL HARDILAP SIDING
  - S3 - 12" HARDILAP SIDING
  - S4 - DECORATIVE FAUX ATTIC VENT
  - C1 - CONCRETE BASE
  - S1 - STONE VENEER BASE
  - V1 - VINYL WINDOWS (TYP)
  - M1 - ALUM RAILING (TYP)
  - A1 - ARCH. ASPHALT SHINGLE ROOF



WEST (FRONT) EXTERIOR ELEVATION  
 1/8" = 1'-0"

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 info@bembergarchitecture.com  
 314-626-3230

- EXTERIOR SIDING MATERIALS**
- S1 - 8" HARDILAP SIDING
  - S2 - 4" VERTICAL HARDILAP SIDING
  - S3 - 12" HARDILAP SIDING
  - S4 - DECORATIVE FAUX ATTIC VENT
  - C1 - CONCRETE BASE
  - S1 - STONE VENEER BASE
  - V1 - VINYL WINDOWS (TYP)
  - M1 - ALUM RAILING (TYP)
  - A1 - ARCH. ASPHALT SHINGLE ROOF



NORTH EXTERIOR ELEVATION  
 1/8" = 1'-0"

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- EXTERIOR SIDING MATERIALS**
- S1 - 8" HARDILAP SIDING
  - S2 - 4" VERTICAL HARDILAP SIDING
  - S3 - 12" HARDILAP SIDING
  - S4 - DECORATIVE FAUX ATTIC VENT
  - S5 - PAINTED TRIM
  - C1 - CONCRETE BASE
  - ST - STONE VENEER BASE
  - V1 - VINYL WINDOWS (TYP)
  - M1 - ALUM RAILING (TYP)
  - A1 - ARCH. ASPHALT SHINGLE ROOF



**EAST EXTERIOR ELEVATION**  
 1/8" = 1'-0"

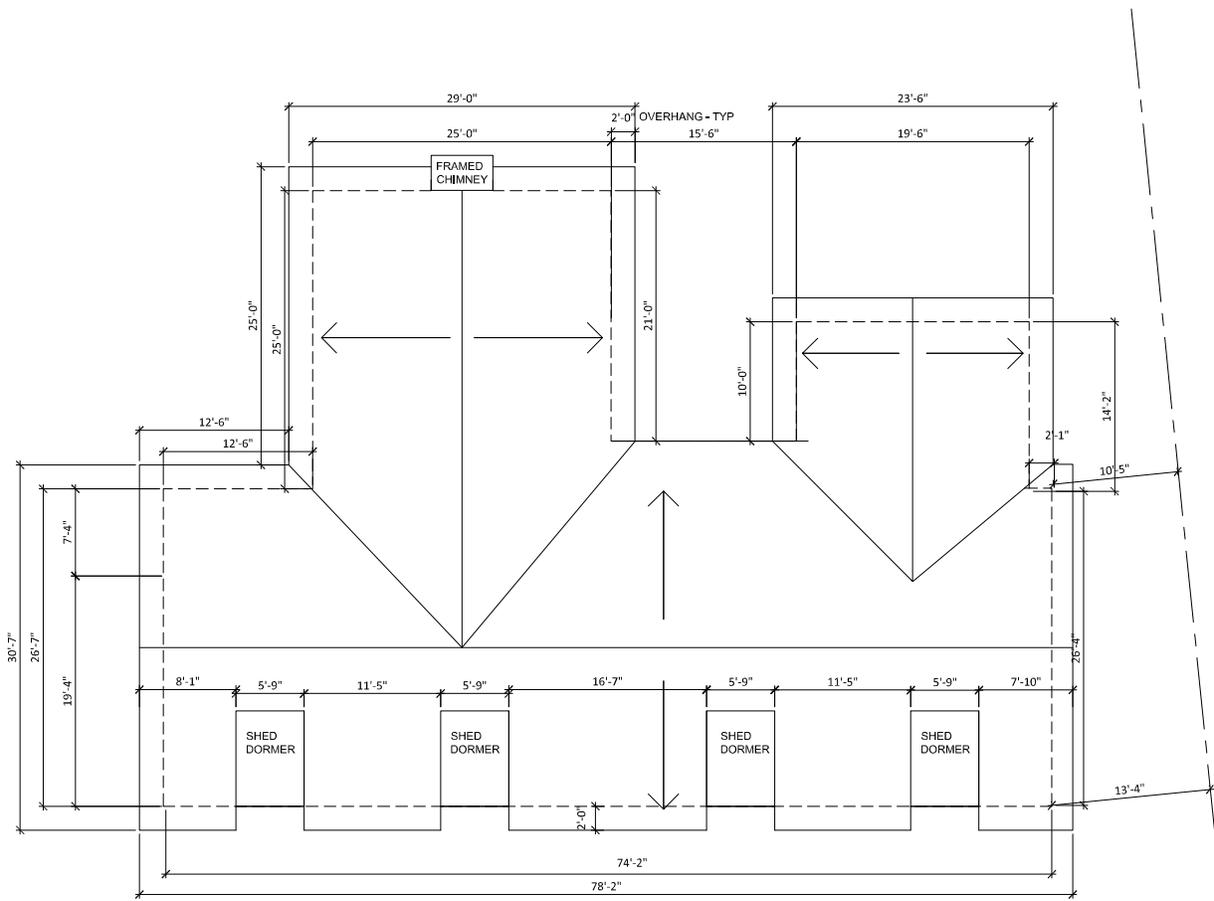
**BEMBERG ARCHITECTURE**  
 info@bembergarchitecture.com  
 314-626-3230

- EXTERIOR SIDING MATERIALS**
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  - S2 - 4" VERTICAL HARDILAP SIDING
  - S3 - 12" HARDILAP SIDING
  - S4 - DECORATIVE FAUX ATTIC VENT
  - C1 - CONCRETE BASE
  - S1 - STONE VENEER BASE
  - V1 - VINYL WINDOWS (TYP)
  - M1 - ALUM RAILING (TYP)
  - A1 - ARCH. ASPHALT SHINGLE ROOF



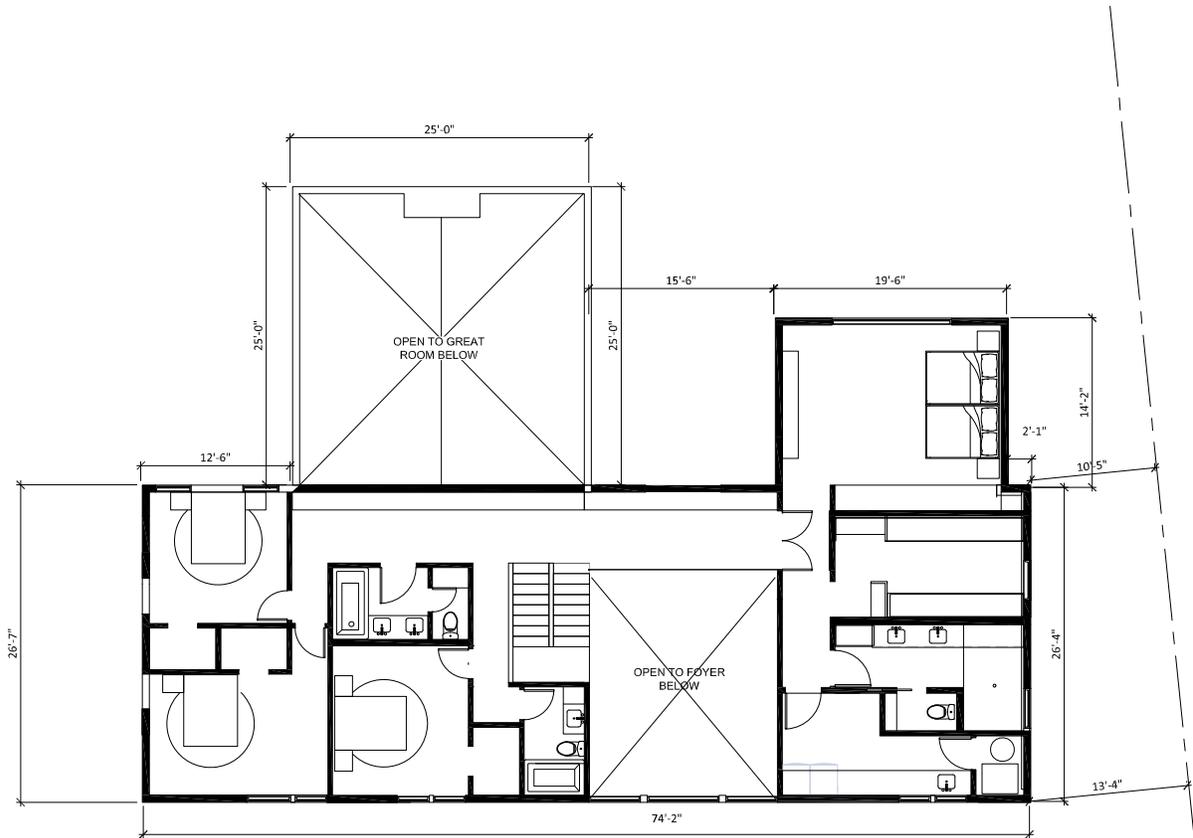
SOUTH EXTERIOR ELEVATION  
 1/8" = 1'-0"

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 info@bembergarchitecture.com  
 314-626-3230



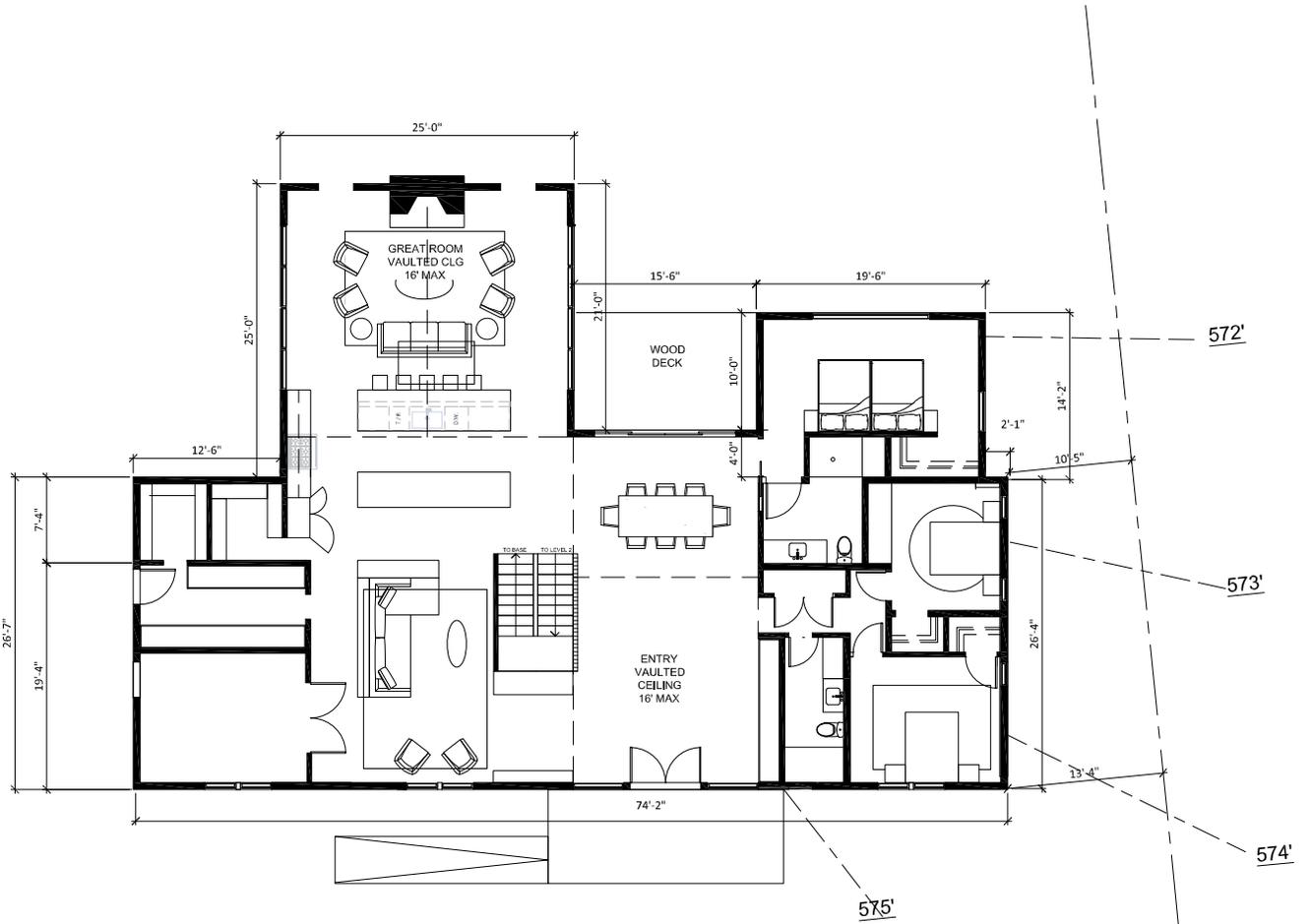
ROOF PLAN ☹  
 1/8" = 1'-0"

BEMBERG ARCHITECTURE  
 info@bembergarchitecture.com  
 314-626-3230



**FAR**  
 1,908 SF  
 SECOND FLOOR PLAN ↻  
 1/8" = 1'-0"

BEMBERG ARCHITECTURE  
 info@bembergarchitecture.com  
 314-626-3230



**FAR**  
 2,939 SF  
 FIRST FLOOR PLAN ⊖  
 1/8" = 1'-0"

**BEMBERG ARCHITECTURE**  
 info@bembergarchitecture.com  
 314-626-3230





11/15/24  
66 FREDERICK LN  
ARB SUBMITTAL

BEMBERG ARCHITECTURE  
info@bembergarchitecture.com  
314-626-3230



424 N. Sappington Road Glendale, Missouri 63122 (314) 965-3600 fax (314) 965-4772

APPLICATION FOR ARCHITECTURAL REVIEW BOARD

APPLICATION DATE 11/22/2024 DATE OF ARB MEETING 12/11/24 ESTIMATED COST \$250,000

PROJECT ADDRESS 449 Elm Ave GLENDALE, MO 63122

NAME OF PROPERTY OWNER Tamsin Mascetti PHONE NUMBER 314-540-5753

CONTRACTOR (NAME) D and L Contracting STL, Doug Meyers PHONE NUMBER 314-223-0553

CONTRACTOR ADDRESS

ARCHITECT (NAME) FORNEY Plus Architecture, LLC PHONE NUMBER 314-719-7940

ARCHITECT ADDRESS 2200 West Port Plaza Dr, Suite 315; St. Louis, MO 63146

DETAILED DESCRIPTION OF WORK BEING PROPOSED: Add 2-story addition with screen porch at Lower Level and Deck at Upper Level

FLOOR AREA RATIO 26% (FAR = Gross Floor Area divided by total area of lot. Gross Floor Area includes all areas provided with heat and/or air conditioning. Includes all conditioned half stories with ceiling heights of more than 5 feet. All living space with ceiling heights of sixteen (16) feet or greater shall be counted at 200%. Attached garages shall be counted at 50%. Exclude any finished or unfinished basement, a detached garage, and any unenclosed porch).

TOTAL FLOOR AREA OF NEW CONSTRUCTION (SQ. FT.) 710

TOTAL FLOOR AREA OF EXISTING STRUCTURE (SQ. FT.) 2,951

TOTAL SQ. FT. OF LOT 15,491 WIDTH AND DEPTH OF LOT (FT.) Irregular

HEIGHT OF STRUCTURE 21' at front NUMBER OF STORIES 2

ESTIMATED COMMENCE DATE June 2024 EST. COMPLETION DATE Dec. 2025

Each application shall be accompanied with payment of a fee as follows:

Addition or Accessory Structure: \$150.00
New Home: \$200.00

(SEE REVERSE SIDE FOR APPLICATION CHECKLIST)

Applications must include 7 copies of all the following items (11x17 size paper is acceptable). Electronic PDF copies must also be submitted, either by email to [permits@glendalemo.org](mailto:permits@glendalemo.org) or on a USB Flash Drive. Packets are due no later than 5:00 p.m. 20 days prior to the scheduled ARB meeting. Please check each item included. The complete ARB Guidelines [may be viewed on the City's website](#).

Applications for additions to existing homes must include the following content unless specific requirements are shown by the applicant to be not applicable to the proposed project and are modified or waived by the City Administrator.

1. **Existing Conditions Site Survey.** Show all site conditions, paved areas, trees and landscaping, and servicing utilities on the subject property. Note the first-floor elevation of existing buildings. 1" = 20" minimum scale.
2. **Site Demolition Plan.** This may be incorporated into the Existing Conditions Plan, if the drawing is presented legibly. 1" = 20" minimum scale.
3. **Proposed Site Plan -- Geometrics.** 1" = 10' minimum scale. Show all:
  - Site improvements, existing-to-remain and proposed. Include buildings, walls, retaining walls, patios, pavement, walks and ground-based equipment. Provide key setting out dimensions. Dimension proposed buildings and structures to the property line. Label materials for paving/walks.
  - Adjacent neighbor properties to each side and rear of the subject property. Include the full site for side adjoining parcels. Show rear adjoining parcels to the extent of building facades on the rear neighbor's lot. Adjoining property geometrics do not need to be surveyed and can be created using St. Louis County GIS data or online mapping tools.
  - Property boundaries, setbacks, easements, and right-of-way lines.
  - Proposed site servicing utility lines and physical utility items.
  - Existing and proposed trees
4. **Proposed Site Plan – Grading and Drainage.** May be presented as a separate plan or combined with above, provided that geometrics graphics are used as background. 1" = 10' minimum scale. Show all:
  - Existing and proposed contours with 1' contour interval.
  - Downspout locations serving roof areas of the proposed buildings. Show how downspout drainage flow is collected and piped/conveyed to discharge points. Include over-land drainage discharge patterns, drainage swales, detention basins, and flow direction. Coordinate with the architectural plans and elevations.
  - Drainage detention structures and their overflow discharge points. Show all piping into drainage detention structures.
  - Erosion control measures and tree protection barriers.
  - Drainage differential discharge calculations showing the engineered basis of pre- and post-development stormwater flow off of the site. No development shall result in an increase of stormwater discharge volume from the site.
5. **Architectural Floor Plan.** 1/4" = 1' minimum scale. Show all levels, including finished/unfinished basements and detached structures. Fully dimension and indicate functions for all rooms. Include a roof plan accurately showing geometry, slopes, gutters and downspouts and coordinate with Site Grading and Drainage Plan. Limit size reductions to not more than 50%.



6. **Pervious and Impervious Area Coverage Plan.** Illustrate all impervious improvements and diagram the impervious areas in comparison to pervious areas. Indicate types of site area coverage by shading and/or patterns with a legend of materials. Measure and show in a schedule areas of each type of coverage. Provide calculations of pervious and impervious areas and the ratio of impervious coverage.



7. **Landscape Plan.** 1/8" = 1' minimum scale. Use the Site Geometric Plan as background. The landscape planting plan should include:

N/A  
NO  
CHANGES

- Current information from the site development plan, including existing/proposed grades and all buildings/structures.
- Location of all lot lines, building setbacks, and easements as depicted on the site development plan.
- Graphic legend depicting existing vegetation and proposed conditions.
- Location of all improvements (walks, patios, driveways, retaining walls, etc.)
- Location of all existing and proposed utilities and sewers.
- Graphic depiction of all existing trees, including location, types and caliper inch.
- Graphic depiction of the accurate drip line canopy showing the critical root zone.
- Tabulation of all existing trees to be saved, removed or impacted.
- Graphic depiction, plant schedule and planting details of all proposed trees, landscape plantings, shrubs, lawn areas, and groundcovers. Botanical and common names should be listed on plans.
- Graphic depiction indicating limits of ground disturbance and all associated areas of lawn to be seeded or sodded upon project completion.



8. **Arborist Report.** The arborist report should include Tree Protection Plan (TPP) with the following information:

N/A  
NO  
CHANGES

- Project title or name, owner name, and firm name or individual who prepared the plan.
- Scaled based plan using the site development plan depicting line of disturbance, existing/proposed grades, location of all improvements, existing/proposed utilities and sewers.
- Graphic depiction of all existing trees to remain and to be removed including location, types and Diameter Breast Height (DBH) size of 6" or greater.
- Graphic depiction of the accurate drip line canopy showing the extent of the Critical Root Zones and Structural Root Zones.
- Graphic depiction of proposed Tree Protection Zones and tree protection fencing.
- Identification of any areas of invasive plants recommended for removal.
- Tree Report Summary with the common and scientific name of the tree and the DBH at 4.5' above grade; comments on the vitality, structure and form of the tree; tree number (to correspond with the TPP); assessment of value/significance and recommended action to be taken; and reason for proposing removal or trimming of the tree.



9. **FAR Illustration Plan.** 1/8" = 1' minimum scale. Present a diagrammatic illustration of the plan areas as measured in CAD-based takeoff or as calculated by dimensions. Note the measured or calculated area of each floor plan level, show the boundary of each measured area graphically, and indicate how each area is assessed for FAR. Account for all floor areas and classify (i.e. conditioned space, enclosed porches, attached or detached garage, two-story living space, etc.).



10. **Color Photos of Adjoining Properties.** Color photos of existing and neighboring properties. Include rear yard and neighboring rear yards.

11. **Aerial Photo Plan.** Submit an illustration compositing the proposed development with buildings shaded black and pavements shaded grey, superimposed to scale onto an aerial photo image showing the project Street in its entirety.

*N/A*  
*NO CHANGES*  
 12. **Composite Street Elevation.** 1/4" = 1' minimum scale. Provide a colored elevation of the street façade superimposed on a photographic montage showing the adjoining neighbors to each side of the property. The exhibit must accurately depict the proposed design and the first-floor level in relation to the neighboring houses.

13. **Building Elevations.** Minimum 1/2" = 1' scale. Reduced size exhibits limited to not more than 50 percent. Provide building elevations of all principal facades and detached structures with building materials noted. Accurately show the line of grade, as defined in the ARB guidelines, and coordinate with the Grading Plan. Note basements as a Story Below Grade or a Building Story, and show the roof height on each elevation, as defined in the ARB guidelines.

14. **Colored Illustration.** Provide a 3-dimensional rendering or a colored building elevation of the principal street façade. For additions, illustrate the most prominent façade whether side or rear.

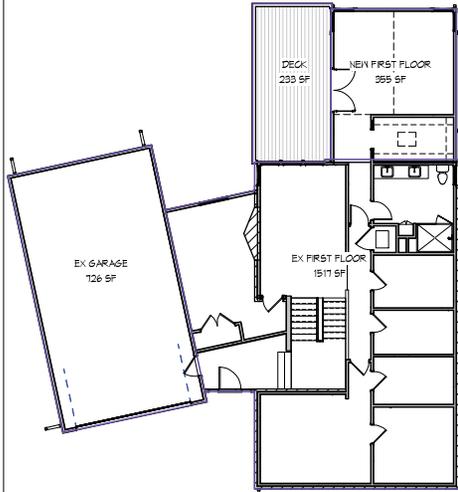
15. **Materials and Samples.** Applicants are required to bring physical samples of the building materials to the ARB meeting.

*MATCH EXISTING*

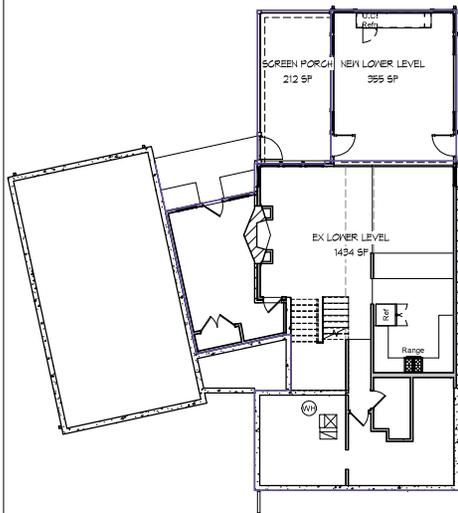
  
SIGNATURE OF APPLICANT

*11/22/2024*  
DATE

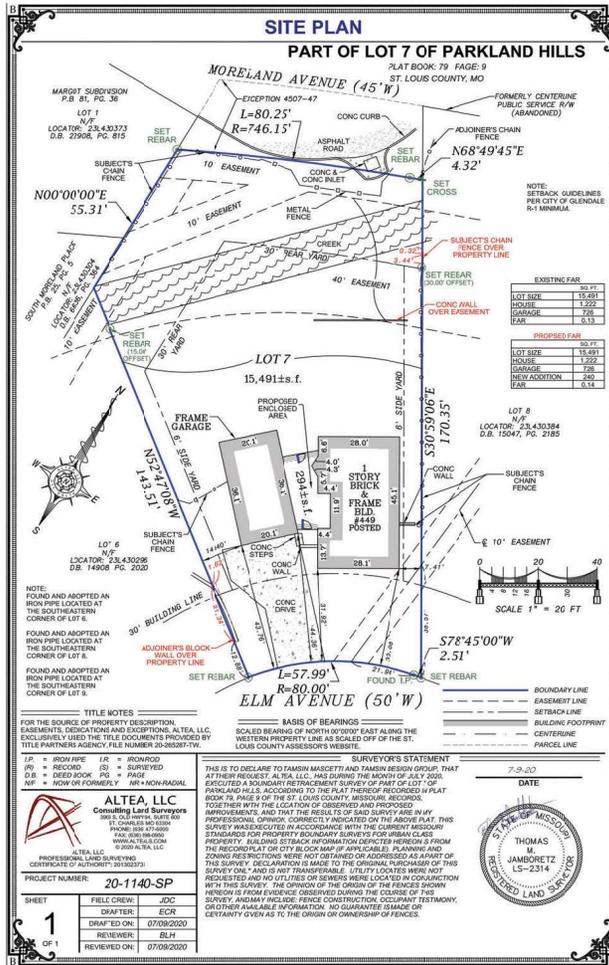




3 1ST FLOOR FAR PLAN  
1/8" = 1'-0"



2 LOWER LEVEL FAR PLAN  
1/8" = 1'-0"

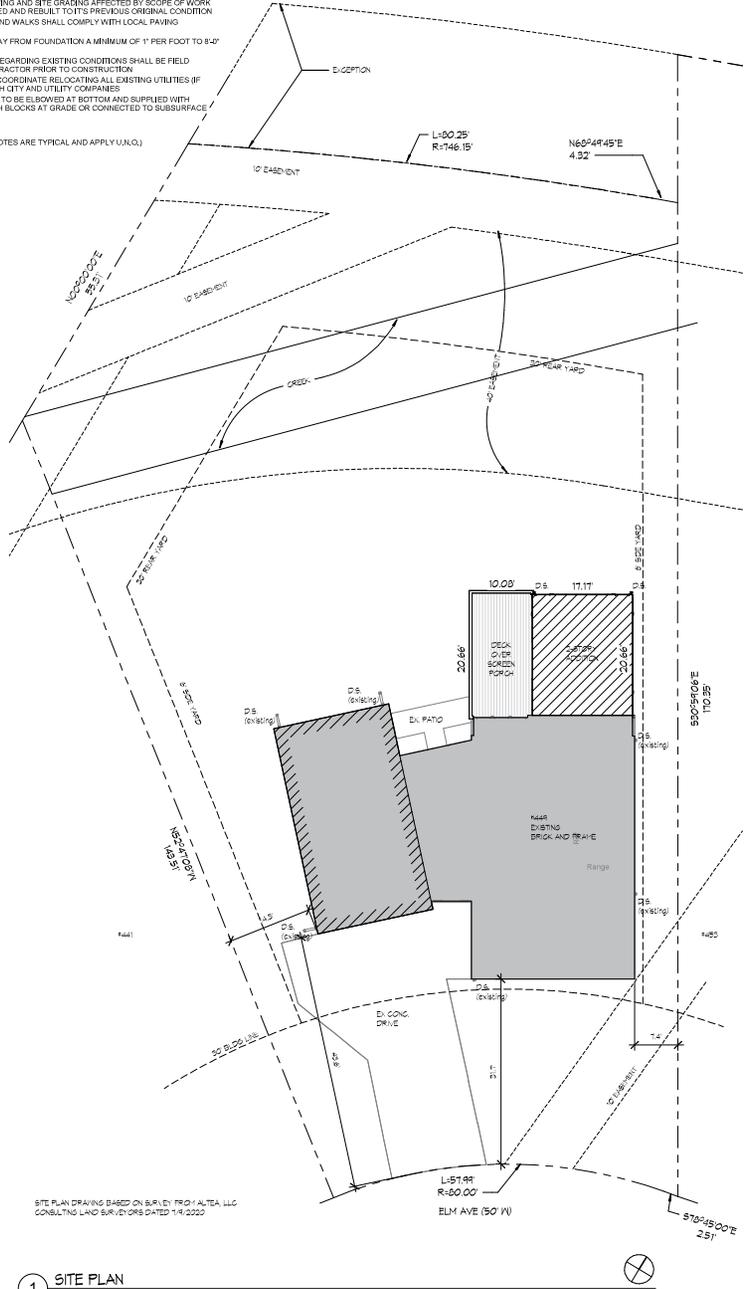


EXISTING PLOT PLAN

GENERAL NOTES-SITE

- ALL ADJACENT PAVING AND SITE GRADING AFFECTED BY SCOPE OF WORK SHALL BE REPLACED AND REBUILT TO ITS PREVIOUS ORIGINAL CONDITION
- ALL NEW DRIVES AND WALKS SHALL COMPLY WITH LOCAL PAVING STANDARDS
- SLOPE GRADE AWAY FROM FOUNDATION A MINIMUM OF 1" PER FOOT TO 8'-0" OR TO SWALE
- ALL DIMENSIONS REGARDING EXISTING CONDITIONS SHALL BE FIELD VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION
- CONTRACTOR TO COORDINATE RELOCATING ALL EXISTING UTILITIES (IF NECESSARY) WITH CITY AND UTILITY COMPANIES
- ALL DOWNSPOUTS TO BE ELBOWED AT BOTTOM AND SUPPLIED WITH CONCRETE SPLASH BLOCKS AT GRADE OR CONNECTED TO SUBSURFACE DRAINAGE.

(ALL THE ABOVE NOTES ARE TYPICAL AND APPLY U.N.O.)



1 SITE PLAN  
1" = 12'-0"

Date	Description	Drawn	Check
11/22/24	REV SET		
	Revision		
	No.		



FORNEY PLUS  
Professional Engineer  
2200 West Park Plaza Drive, Suite 315  
St. Louis, MO 63118  
314-432-2424  
forneyplus.com

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Addition/Renovation for  
**Mascetti Residence**  
448 Elm Ave, Glendale, MO 63122

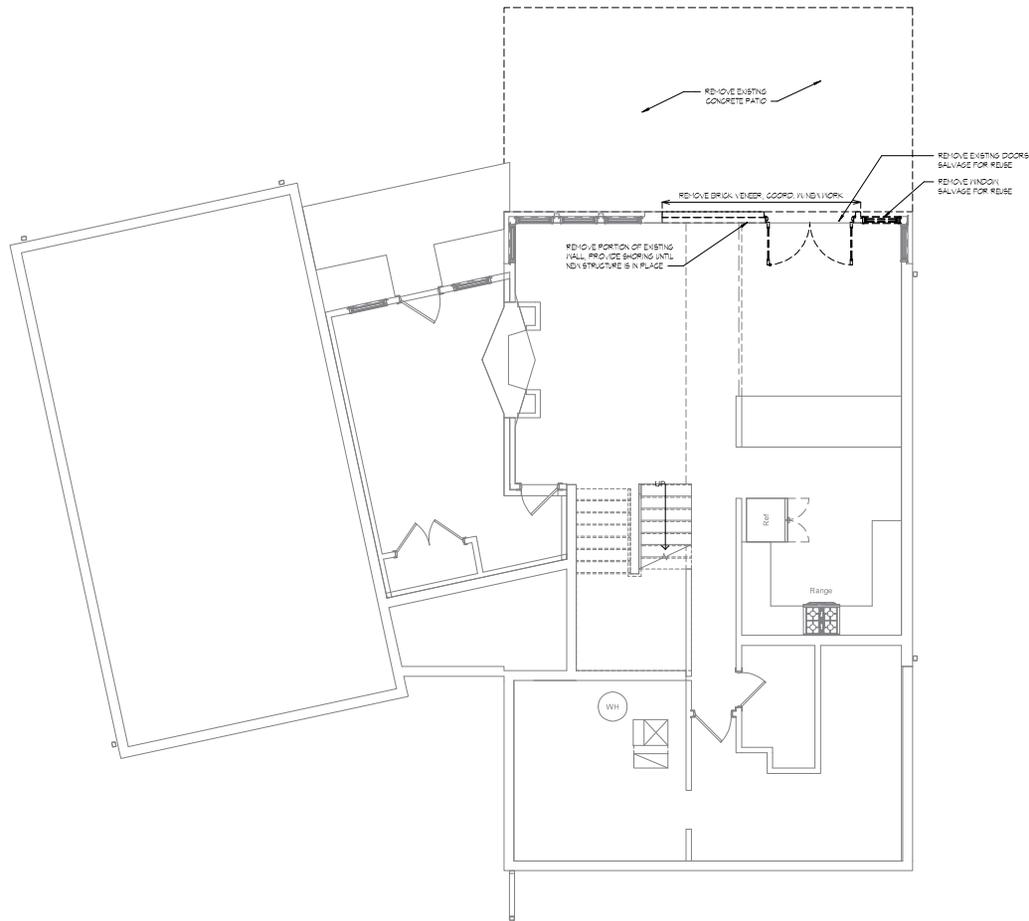
ATTENTION BUILDING OFFICIAL:  
The signature and seal of the architect are required before these drawings may be submitted for building permit or construction.

SITE PLAN  
**A0.2**

Checker 2412



11/27/24 4:58:52 PM



1 LOWER LEVEL DEMOLITION PLAN  
1/4" = 1'-0"

**GENERAL NOTES-DEMOLITION**

- A PRIOR TO BEGINNING THE WORK, THE CONTRACTOR SHALL REVIEW ALL DRAWINGS, RESTRICTIONS AND SITE CONDITIONS INCLUDING EXISTING DIMENSIONS AND HEIGHTS AT THE SITE AND NOTIFY THE ARCHITECT OF ANY DRAWING INCONSISTENCIES OR QUESTIONS.
  - B CONTRACTOR SHALL ENSURE THAT ALL SURROUNDING AREAS NOT DESIGNATED FOR DEMOLITION SHALL BE PROTECTED FROM DUST AND DEBRIS CAUSED DURING DEMOLITION OPERATIONS.
  - C THE ARCHITECT AND OWNER SHALL BE NOTIFIED OF ANY UNUSUAL CONDITIONS UNCOVERED DURING DEMOLITION THAT WERE NOT PROVIDED FOR AND MAY IMPED THE PROCESS OF DEMOLITION. BE PARTICULARLY AWARE OF ANY LIVE SERVICE, PHONES, WATER, ELECTRICAL, ETC.
  - D THE ARCHITECT AND THE ARCHITECT CONSULTANTS SHALL HAVE NO RESPONSIBILITY FOR THE DISCOVERY, PRESENCE, HANDLING, REMOVAL OR DISPOSAL OF, OR EXPOSURE OF PERSONS TO HAZARDOUS MATERIALS IN ANY FORM AT THE PROJECT SITE, INCLUDING, BUT NOT LIMITED TO, BLACK MOLD, ASBESTOS, ARBESTOS PRODUCTS, LEAD PAINT, POLYCHLORINATED BIURENE (PCB) OR OTHER TOXIC SUBSTANCES. THE CONTRACTOR SHALL REMOVE ANY HAZARDOUS MATERIALS.
  - E REFER TO THE ENGINEERS DRAWINGS FOR ANY ADDITIONAL DEMOLITION WORK.
  - F REMOVE ITEMS SHOWN DASHED ON THE PLANS, COMPLETELY.
  - G ALL EXISTING CONCRETE FOUNDATION WALLS AND FOOTINGS SHALL REMAIN, UNLESS NOTED OTHERWISE.
  - H ALL SERVICES IN PARTITIONS TO BE REMOVED, I.E. ELECTRICAL, OUTLETS, SWITCHES, PIPES, JACKS, ETC. SHALL BE REMOVED ALONG WITH PARTITIONS, AND WIRES SHALL BE KILLED AND REMOVED TO A POINT SO AS NOT TO INTERFERE WITH NEW CONSTRUCTION.
  - I REPAIR DEMOLITION PERFORMED IN EXCESS OF THAT REQUIRED, RETURN STRUCTURES AND SURFACES TO REMAIN TO CONDITION EXISTING PRIOR TO COMMENCEMENT OF SELECTIVE DEMOLITION WORK. REPAIR ADJACENT CONSTRUCTION OR SURFACES SOLED OR DAMAGED BY SELECTIVE DEMOLITION WORK.
  - J SEE OWNER FOR POSSIBLE TEMPORARY PARTITION REQUIREMENTS.
  - K REMOVE DEBRIS, RUBBISH AND OTHER DEMOLITION MATERIALS FROM THE PROJECT SITE. TRANSPORT AND LEGALLY DISPOSE OF MATERIALS OFF SITE. IF HAZARDOUS MATERIALS ARE ENCOUNTERED COMPLY WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS, LAWS AND ORDINANCES CONCERNING REMOVAL, HANDLING AND PROTECTION AGAINST EXPOSURE OR ENVIRONMENTAL POLLUTION. BURNING OF REMOVED MATERIALS IS NOT PERMITTED ON PROJECT SITE.
  - L UPON COMPLETION OF DEMOLITION WORK, REMOVE TOOLS, EQUIPMENT AND PROTECTIONS AND LEAVE INTERIOR AREAS BROOM CLEAN.
- ALL THE ABOVE NOTES ARE TYPICAL AND APPLY UNLESS NOTED OTHERWISE.

Revision	Date
1	11/27/24



PROFESSIONAL OF RECORD

**FORNEY + PLUS**  
ARCHITECTS  
2200 West Park Plaza Drive, Suite 315  
St. Louis, MO 63119  
314-432-2424  
forney@forneyplus.com

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Addition/Renovation for  
**Mascetti Residence**  
449 Elm Ave, Glendale, MO 63122

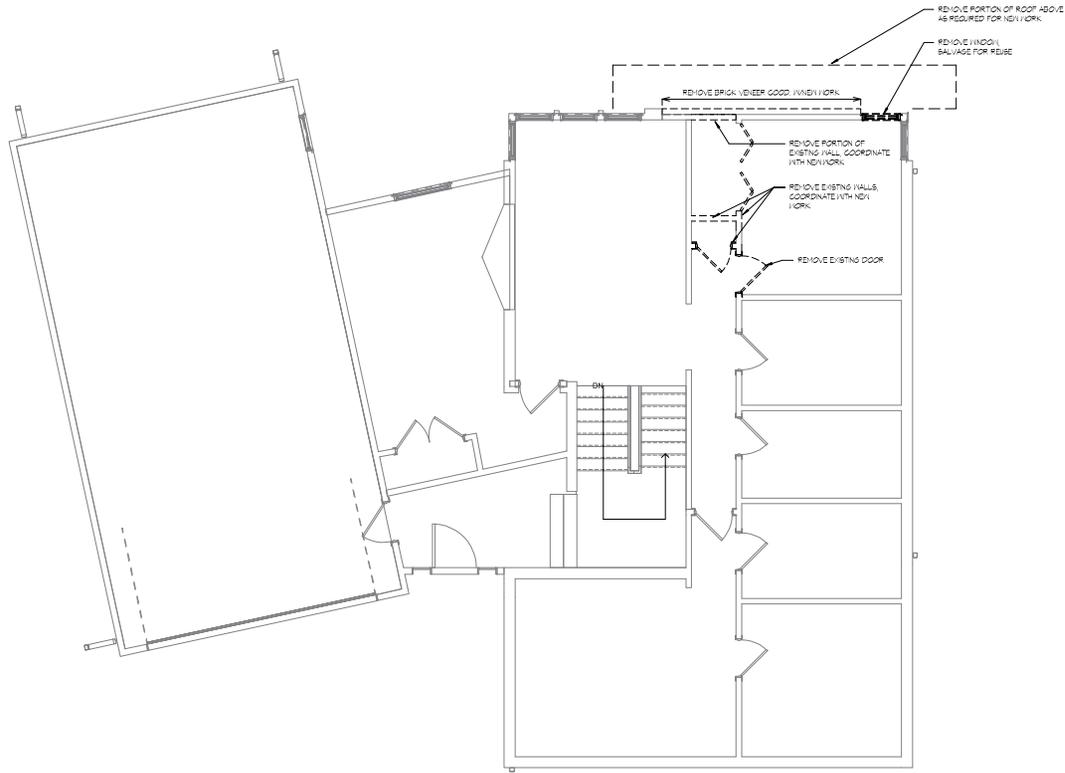
ATTENTION:  
BUILDING  
OFFICIAL:

The signature and seal of the architect are required before these drawings may be submitted for building permit or construction.

LOWER LEVEL  
DEMOLITION PLAN

**A1.0**

Checker 2412



1 FIRST FLOOR DEMOLITION PLAN  
1/4" = 1'-0"

**GENERAL NOTES-DEMOLITION**

- A PRIOR TO BEGINNING THE WORK, THE CONTRACTOR SHALL REVIEW ALL DRAWINGS, RESTRICTIONS AND SITE CONDITIONS INCLUDING EXISTING DIMENSIONS AND HEIGHTS AT THE SITE AND NOTIFY THE ARCHITECT OF ANY DRAWING INCONSISTENCIES OR QUESTIONS.
  - B CONTRACTOR SHALL ENSURE THAT ALL SURROUNDING AREAS NOT DESIGNATED FOR DEMOLITION SHALL BE PROTECTED FROM DUST AND DEBRIS CAUSED DURING DEMOLITION OPERATIONS.
  - C THE ARCHITECT AND OWNER SHALL BE NOTIFIED OF ANY UNUSUAL CONDITIONS UNCOVERED DURING DEMOLITION THAT WERE NOT PROVIDED FOR AND MAY IMPED THE PROCESS OF DEMOLITION. BE PARTICULARLY AWARE OF ANY LIVE SERVICE, PHONES, WATER, ELECTRICAL, ETC.
  - D THE ARCHITECT AND THE ARCHITECT CONSULTANTS SHALL HAVE NO RESPONSIBILITY FOR THE DISCOVERY, PRESENCE, HANDLING, REMOVAL OR DISPOSAL OF, OR EXPOSURE OF PERSONS TO HAZARDOUS MATERIALS IN ANY FORM AT THE PROJECT SITE, INCLUDING, BUT NOT LIMITED TO, BLACK MOLD, ASBESTOS, ASBESTOS PRODUCTS, LEAD PAINT, POLYCHLORINATED BI-PHENYL (PCB) OR OTHER TOXIC SUBSTANCES. THE CONTRACTOR SHALL REMOVE ANY HAZARDOUS MATERIALS.
  - E REFER TO THE ENGINEERS DRAWINGS FOR ANY ADDITIONAL DEMOLITION WORK.
  - F REMOVE ITEMS SHOWN DASHED ON THE PLANS, COMPLETELY.
  - G ALL EXISTING CONCRETE FOUNDATION WALLS AND FOOTINGS SHALL REMAIN, UNLESS NOTED OTHERWISE.
  - H ALL SERVICES IN PARTITIONS TO BE REMOVED, I.E. ELECTRICAL, OUTLETS, SWITCHES, PHONE JACKS, ETC. SHALL BE REMOVED ALONG WITH PARTITIONS, AND WIRES SHALL BE KILLED AND REMOVED TO A POINT SO AS NOT TO INTERFERE WITH NEW CONSTRUCTION.
  - I REPAIR DEMOLITION PERFORMED IN EXCESS OF THAT REQUIRED, RETURN STRUCTURES AND SURFACES TO REMAIN TO CONDITION EXISTING PRIOR TO COMMENCEMENT OF SELECTIVE DEMOLITION WORK. REPAIR ADJACENT CONSTRUCTION OR SURFACES SOILED OR DAMAGED BY SELECTIVE DEMOLITION WORK.
  - J SEE OWNER FOR POSSIBLE TEMPORARY PARTITION REQUIREMENTS.
  - K REMOVE DEBRIS, RUBBISH AND OTHER DEMOLITION MATERIALS FROM THE PROJECT SITE. TRANSPORT AND LEGALLY DISPOSE OF MATERIALS OFF SITE. IF HAZARDOUS MATERIALS ARE ENCOUNTERED COMPLY WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS, LAWS AND ORDINANCES CONCERNING REMOVAL, HANDLING AND PROTECTION AGAINST EXPOSURE OR ENVIRONMENTAL POLLUTION. BURNING OF REMOVED MATERIALS IS NOT PERMITTED ON PROJECT SITE.
  - L UPON COMPLETION OF DEMOLITION WORK, REMOVE TOOLS, EQUIPMENT AND PROTECTIONS AND LEAVE INTERIOR AREAS BROOM CLEAN.
- ALL THE ABOVE NOTES ARE TYPICAL AND APPLY UNLESS NOTED OTHERWISE.

Date	Description
11/27/24	REV SET
	Revision
	No.



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**FORNEY + PLUS**  
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Addition/Renovation for  
**Mascetti Residence**  
449 Elm Ave, Glendale, MO 63122

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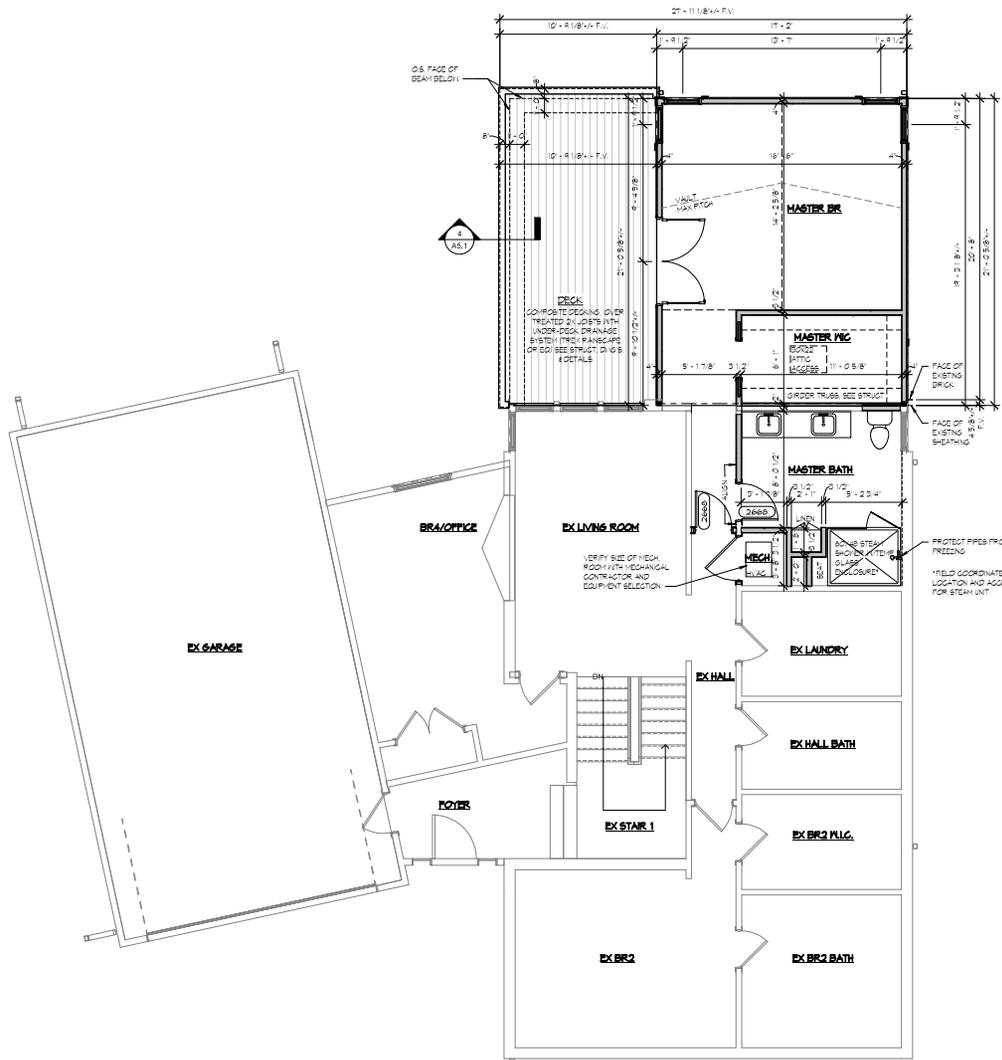
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FIRST FLOOR DEMOLITION PLAN

**A1.1**

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1 FIRST FLOOR PROPOSED PLAN  
1/4" = 1'-0"

GENERAL NOTES - FLOOR PLAN

- A CONTRACTOR TO VERIFY AND COORDINATE BEFORE CONSTRUCTION ALL WINDOW AND DOOR CENTERLINE DIMENSIONS ON DRAWINGS WITH MANUFACTURER'S ROUGH OPENING DIMENSIONS. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL CLEARANCES OF ADJACENT MATERIALS WITH ROUGH OPENINGS AND INSTALLATION REQUIREMENTS, AND NOTIFY ARCHITECT OF ANY CONFLICTS. SEE ELEVATION SHEETS FOR WINDOW AND DOOR HEADER HEIGHTS.
- B CONTRACTOR TO COORDINATE MECHANICAL, ELECTRICAL, AND PLUMBING WITH APPROPRIATE DESIGN/BUILD SUB-CONTRACTOR
- C SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION
- D UNLESS NOTED OTHERWISE (U.N.O.), ALL DIMENSIONS INDICATED ARE FROM:
  - FACE OF ROUGH STUD FRAMING
  - FACE OF SHEATHING
  - FACE OF CONCRETE
- E ALL LUMBER IN DIRECT CONTACT W/ CONC. OR BRICK SHALL BE PRESSURE TREATED & MARKED
- F ALL MATERIALS EXPOSED TO EXTERIOR SHALL BE I.R.C. APPROVED EXTERIOR GRADE MATERIALS
- G SEE ELECTRICAL PLANS (A3.0 SERIES) FOR ADDITIONAL INFORMATION
- H G.C. IS RESPONSIBLE FOR ALL PRELIMINARY DIMENSIONS REGARDING PLAN & ELEVATION LAYOUT - FIELD VERIFY ALL EXISTING CONDITIONS & WALL LOCATIONS PRIOR TO CONSTRUCTION
- I PROPOSED CONSTRUCTION SHALL ALIGN FLUSH WITH EXISTING CONSTRUCTION WHERE VISUALLY SHOWN TO ALIGN
- J PATCH EXISTING PLASTER OR DRYWALL AS REQUIRED DUE TO DEMOLITION AND NEW CONSTRUCTION
- K ALL INTERIOR FRAMED WALLS ARE 3-1/2" (24 STUDS). EXTERIOR FRAMED WALLS ARE 4" (24 STUDS + 1" SHEATHING) UNLESS DIMENSIONED OR NOTED OTHERWISE.
- L DOOR DESIGNATIONS ARE IN FEET AND INCHES (E.G. (2'-0"00" + (2) 2'-00" X 8'-00" = 3'-00" X MATCH EXISTING HEIGHT). ALL INTERIOR DOORS ARE 1-3/8" TALL U.N.O.
- NOTE: GENERAL CONTRACTOR TO FIELD VERIFY ALL EXISTING DOOR & CASED OPENING SIZES PRIOR TO DEMOLITION. SEE DOOR SCHEDULE FOR ADDITIONAL INFORMATION.
- M PROVIDE MOISTURE RESISTANT GYPSUM BOARD AT ALL WALLS ON WHICH PLUMBING FIXTURES ARE LOCATED
- N PROVIDE CEMENT BACKERBOARD BEHIND TILED WALLS AT TUB AND SHOWER ENCLOSURES
- O INSULATE ALL INTERIOR WALLS AROUND BATHS AND MECHANICAL AREAS, AND JOIST SPACE BETWEEN FLOORS, FOR SOUND ATTENUATION
- P FIREBLOCKING: MINERAL WOOL OR 1/2" GYP. BOARD SHALL BE INSTALLED IN THE CAVITY OF FLOOR JOISTS THAT OCCUR DIRECTLY ABOVE ANY WALL THAT SEPARATES A FINISHED AREA FROM AN UNFINISHED AREA. F.V. 2X FIREBLOCKING AT MID-POINT ON ALL WALLS OVER 8'-0" HIGH. FIREBLOCKING REQUIRED AROUND PIPES AND DUCT PENETRATIONS OF CEILING AND FLOORS AND AT HORIZONTAL INTERVALS (NOT EXCEEDING 16" WHEN A FRAMED WALL IS SET AWAY FROM THE FOUNDATION WALL
- Q DRAFTSTOPPING: CEILINGS SUSPENDED BELOW WOOD JOISTS OR ATTACHED DIRECTLY TO OPEN WEB FLOOR TRUSSES SHALL BE DRAFT-STOPPED AT A MAXIMUM OF 1000 SQ. FT. INTERVALS PARALLEL TO MAIN FRAMING MEMBERS
- R CEILINGS: 1/2" (OR 5/8") GYP. BOARD APPLIED TO BOTTOM OF WOOD JOISTS WITH LOWER AREAS AS REQUIRED FOR STRUCTURAL AND MECHANICAL ITEMS. TYPICAL (SEE PLANS FOR ADDITIONAL HEIGHT INFORMATION)
- S FRAMING CARPENTER IS TO REVIEW AND COORDINATE ALL LIGHT FIXTURE LOCATIONS PRIOR TO BEGINNING CONSTRUCTION TO AVOID FRAMING INTERFERENCES IF POSSIBLE
- T MECHANICAL CONTRACTOR TO REVIEW AND COORDINATE ALL LIGHT FIXTURE LOCATIONS WITH PROPOSED DUCTWORK AND CHASES TO AVOID INTERFERENCES WITH LIGHTING DESIGN IF POSSIBLE. REVIEW ALTERNATE LOCATIONS WITH OWNER/BUILDER & ARCHITECT
- U FINISHED FLOORING AS SELECTED BY OWNER
- V ALL CLOTHES CLOSETS TO BE DESIGNED BY OTHERS (OR AS SELECTED BY OWNER). INCLUDE ONE VINYL-COATED SHELF AND ROD AS BASE BID. U.N.O. ALL LINEN CLOSETS & PANTRY TO BE DESIGNED BY OTHERS (OR AS SELECTED BY OWNER). INCLUDE 5 VINYL-COATED SHELVES AS BASE BID. U.N.O.
- X ALL BATH TUBS WITH SHOWER FIXTURES (EXCEPT MASTER BATH TUB), AND SHOWER ENCLOSURES TO HAVE SHOWER CURTAIN ROD AS BASE BID (U.N.O.) OR AS SELECTED BY OWNER
- Y PROVIDE WALL MIRRORS OVER ALL VANITY TOPS. WIDTH OF MIRROR TO EQUAL VANITY TOP LENGTH AND MIRROR HEIGHT TO BE 4" AS BASE BID OR AS SELECTED BY OWNER
- Z FIRST FLOOR HVAC UNIT SHALL BE SET IN OVERFLOW DRAIN PAN. PROVIDE SOUND BATTIS AROUND MECHANICAL ROOM. INSTALL 1/2" HOMASOTE SOUND BOARD UNDER DRYWALL AND WEATHERSTRIP DOOR FOR SOUND CONTROL. MECHANICAL CONTRACTOR TO SUPPLY COMBUSTION AIR (NO LOWER DOOR)

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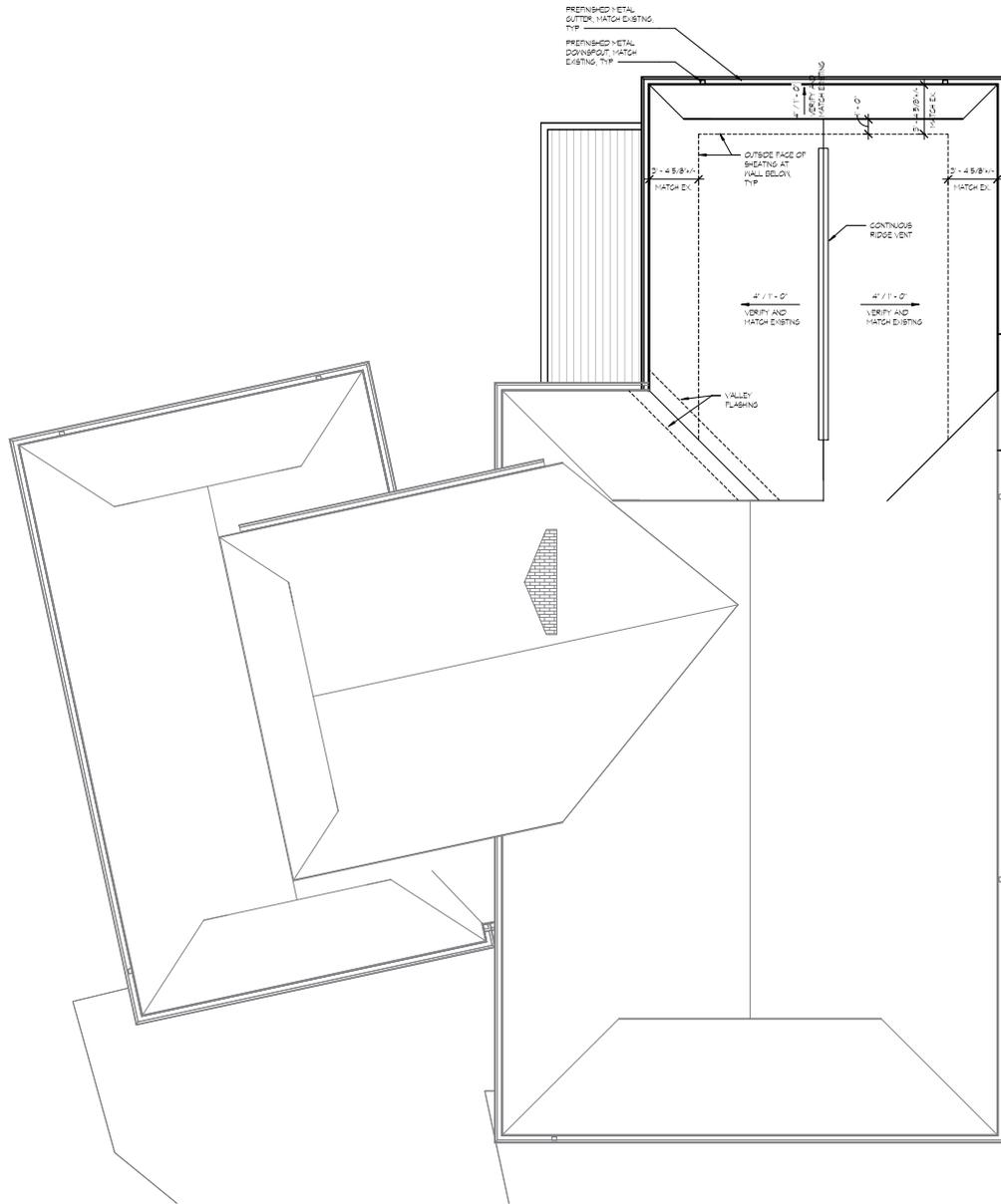
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Addition/Renovation for  
**Mascetti Residence**  
449 Elm Ave, Glendale, MO 63122

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FIRST FLOOR PLAN  
**A2.2**

11/17/2024 4:58:58 PM



1 ROOF PLAN PROPOSED  
1/4" = 1'-0"

GENERAL NOTES- ROOF PLAN

- A CONTRACTOR TO VERIFY AND COORDINATE BEFORE CONSTRUCTION ALL WINDOW AND DOOR CENTERLINE DIMENSIONS ON DRAWINGS WITH MANUFACTURERS ROUGH OPENING DIMENSIONS. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL CLEARANCES OF ADJACENT MATERIALS WITH ROUGH OPENINGS AND INSTALLATION REQUIREMENTS, AND NOTIFY ARCHITECT OF ANY CONFLICTS. SEE ELEVATION SHEETS FOR WINDOW AND DOOR HEADER HEIGHTS INCLUDING CORNER INFORMATION.
- B CONTRACTOR TO COORDINATE MECHANICAL, ELECTRICAL, AND PLUMBING WITH APPROPRIATE DESIGN/BUILD SUB-CONTRACTOR.
- C SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- D UNLESS NOTED OTHERWISE (N.O.D.), ALL DIMENSIONS INDICATED ARE FROM:  
-FACE OF ROUGH STUD FRAMING  
-FACE OF SHEATHING  
-FACE OF CONCRETE
- E ALL LUMBER IN DIRECT CONTACT W/ CONC. OR MASONRY SHALL BE PRESSURE TREATED & MARKED.
- F ALL MATERIALS EXPOSED TO EXTERIOR SHALL BE U.R.C. APPROVED EXTERIOR GRADE MATERIALS.
- G SEE ELECTRICAL PLANS (A3.0 SERIES) FOR ADDITIONAL INFORMATION REGARDING CEILING DESIGN CONFIGURATIONS (PROFILES AND SPECIAL HEIGHTS).
- H O.C. IS RESPONSIBLE FOR ALL PRELIMINARY DIMENSIONS REGARDING PLAN & ELEVATION LAYOUT. ALL EXISTING CONDITIONS & WALL LOCATIONS PRIOR TO CONSTRUCTION.
- I PROPOSED CONSTRUCTION SHALL ALIGN FLUSH WITH EXISTING CONSTRUCTION WHERE VISUALLY SHOWN TO ALIGN.
- J PATCH OR REPAIR EXISTING ROOF FLASHING, GUTTERS AND SURROUNDING MATERIALS AS REQUIRED DUE TO DEMOLITION AND NEW CONSTRUCTION.
- K PROVIDE ROOF VENTILATION PER CODE.
- L PROVIDE FLASHING AT ALL ROOF PENETRATIONS.
- M LOCATIONS OF DOWNSPOUTS & SIZE OF GUTTER TO BE DESIGNED BY OTHERS.
- N ALL DOWNSPOUTS TO BE ELEVATED AT BOTTOM AND SUPPLIED WITH CONCRETE SPLASH BLOCKS AT GRADE OR BE TIED INTO SUBSURFACE DRAINAGE SYSTEM. REFER TO CIVIL DRAWINGS.
- O GUTTERED OVERHANGS- SEE PLANS FOR DIMENSIONS OF OVERHANGS FROM FACE OF SHEATHING TO THE BACK SIDE OF FINISHED FASCIA BOARD. TYPICAL UNID. DESIGN INTENT IS TO MATCH EXISTING CONDITIONS.
- P PROVIDE 3 LAYERS TYPE "T" ICE DAM MIN. 3/8" IN FROM INTERIOR FACE OF STUD TO EAVE AT ALL EDGES. PROVIDE 2 LAYERS TYPE "T" ICE DAM OVER ENTIRE ROOF WHERE SLOPE IS LESS THAN 4:12.
- R VALLEY FLASHING- INSTALL VALLEY FLASHING IN ACCORDANCE WITH MANUFACTURERS INSTALLATION INSTRUCTIONS BEFORE APPLYING SHINGLES.  
OPEN VALLEY LININGS TO TO EITHER:  
-MIN. 24" WIDE CORROSION-RESISTANT CODE-APPROVED METAL, OR  
-2 LAYERS OF MINERAL SURFACE ROLL ROOFING, COMPLYING WITH ASTM D 3600 OR ASTM D 5950 CLASS II. SHALL BE PERMITTED. THE BOTTOM LAYER SHALL BE 18" AND THE TOP LAYER A MINIMUM OF 36" WIDE.  
FOR CLOSED VALLEYS (VALLEY COVERED WITH SHINGLES), VALLEY LINING TO BE:  
-LAYER OF SMOOTH ROLL ROOFING COMPLYING WITH ASTM D 6380, OR  
-2 LAYS OF SMOOTH ROLL ROOFING COMPLYING WITH ASTM D 225 TYPE I, ASTM D 4899 TYPE I OR ASTM D 6757 AND AT LEAST 36". OR  
-VALLEY LINING AS DESCRIBED IN "OPEN VALLEY LININGS" ABOVE SHALL BE PERMITTED.  
SELF-HEALING POLYMER MODIFIED BITUMEN UNDERLAYMENT COMPLYING WITH ASTM D 1970 SHALL BE PERMITTED IN LIEU OF THE LINING MATERIAL.  
(ALL GENERAL NOTES ARE TYPICAL AND APPLY UNLESS NOTED OTHERWISE)

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	Revision
	No.



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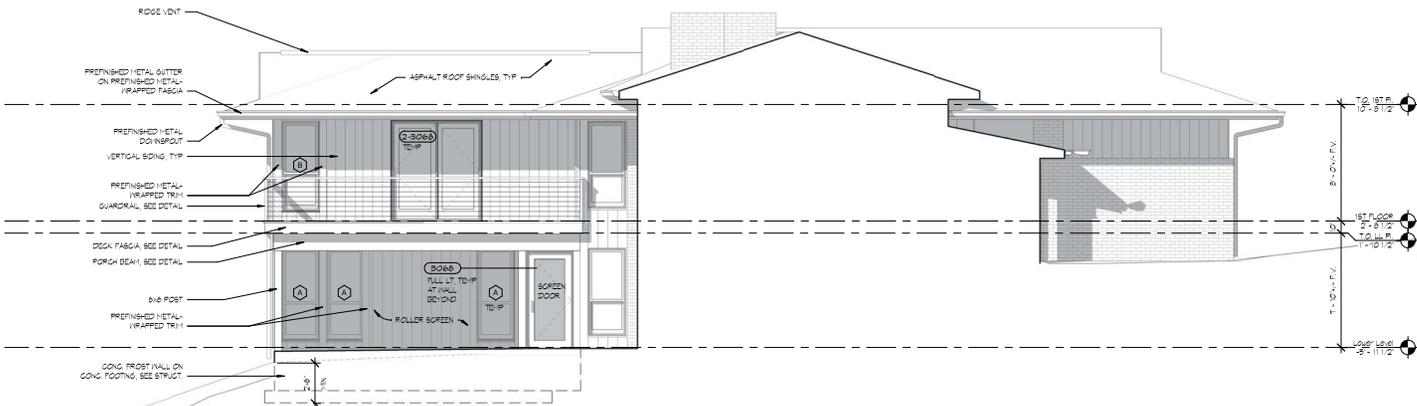
Addition/Renovation for  
**Mascetti Residence**  
449 Elm Ave, Glendale, MO 63122

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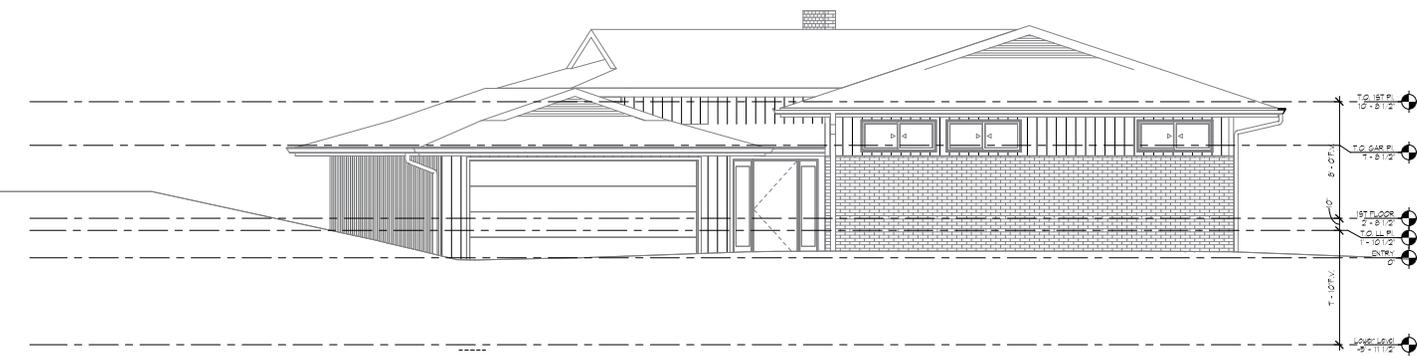
ROOF PLAN  
**A2.3**

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2 LEFT ELEVATION  
1/4" = 1'-0"



1 FRONT ELEVATION  
1/4" = 1'-0"

**GENERAL NOTES-ELEVATION**

- A SLOPE GRADE AWAY FROM FOUNDATION A MINIMUM OF 1" PER FOOT FOR A DISTANCE OF 6'-0" TO A SWALE.
  - B FOOTING & PERS. BOTTOM OF ALL FOOTINGS TO SET ON UNDISTURBED SOIL. PERS. TO EXTEND A MINIMUM OF 24" INTO UNDISTURBED SOIL. BOTH SHALL BE A MINIMUM OF 10" BELOW GRADE.
  - C CHIMNEY HEIGHT. SHALL EXTEND ABOVE ROOF A MINIMUM OF 3'-0" AT THE POINT OF PENETRATION AND 2'-0" HIGHER THAN ANY PORTION OF THE BUILDING WITHIN 12' HORIZONTALLY.
  - D ROOF FLASHING. PROVIDE CORROSION-RESISTANT METAL FLASHING AT ALL ROOF VALLEYS, WALL AND CHIMNEY INTERSECTIONS, PORCHES, DECKS, ETC. ROLLED ROOFING OR TWO (2) LAYERS OF TYPE I UNDERLAMENT MAY BE SUBSTITUTED FOR FLASHING AT THE ROOF VALLEY PROVIDED THE SHINGLES ARE INTERLAGED.
  - G BASEMENT HAVING CONCRETE FOUNDATION WALLS WITH MORE THAN 20% EXPOSURE ABOVE FINISHED GRADE SHALL BE INSULATED. SEE GENERAL NOTES.
  - H GENERAL CONTRACTOR SHALL CONFIRM USE OF ALL TRIM ACCESSORIES AND MODEL NUMBERS WITH SUPPLIER BEFORE ORDERING.
  - I EXTERIOR WINDOW ARE ANDERSON 100 SERIES. COLOR: MATCH EXISTING (WHITE) INTERIOR AND EXTERIOR INSULATED GLASS UNITS (SIMULATED DIVIDED LITES).
  - J REUSED WINDOW CALL OUT SIZES BASED ON WINDOW SUBMITTAL FROM PRIOR RENOVATION. SEE OWNER.
  - K PROVIDE SCREENS AT ALL WINDOWS AND DOORS - CONFIRM W/ OWNER. PROVIDE 3/4" BLOCKING UNDER DOORS TO ALLOW FOR HARDWOOD FLOOR OR TILE THICKNESS IF REQUIRED PER INSTALLATION MANUAL.
  - L BOTTOM OF ALL WINDOW HEADERS TO BE SET AT TO MATCH EXISTING ON LOWER LEVEL AND FIRST FLOOR AND AS NOTED ON ELEVATIONS.
  - M ALL DOWNSPOUTS TO BE ELBOWED AT BOTTOM AND SUPPLIED WITH CONCRETE SPASH BLOCKS AT GRADE OR CONNECTED TO SUBSURFACE DRAINAGE.
  - N ALL ROOF TRUSSES ARE BASED ON A 2x TOP CHORD AND 2" POINT BEAMING UNLESS NOTED OTHERWISE. RAISED HEELS ARE CALCULATED FROM TOP PLATE TO THE TOP OF THE TOP CHORD AT FACE OF FRAMING. CONTRACTOR TO FIELD VERIFY RAISED HEELS TO ALIGN WITH EXISTING ROOF OVERHANGS.
  - O BRICK VENEER: ALL SOLDIER AND ROWL-COCK HEADERS, SILLS, AND TRIM TO MATCH EXISTING UNLESS NOTED OTHERWISE.
  - P DECK DOORS: SECURELY BARRICADE DOORS TO DECK UNTIL DECKS BUILT AND APPROVED.
  - Q WINDOW SILLS: WHERE THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW IS LESS THAN 20" ABOVE THE FINISHED FLOOR AND WHERE THE WINDOW IS LOCATED MORE THAN 17" ABOVE THE FINISHED GRADE OR SURFACE BELOW THE WINDOW SHOULD BE PROVIDED WITH A WINDOW OPENING CONTROL DEVICE PER SECTION R612.4.2.
- ADDRESS NUMBERS: PROVIDE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS, OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER SECTION 6318.1.

ALL THE ABOVE NOTES ARE TYPICAL AND APPLY UNLESS NOTED OTHERWISE.

**EXTERIOR COLOR SELECTIONS**

1. ROOFING: MATCH EXISTING ARCHITECTURAL ASPHALT SHINGLES. COLOR: MATCH EXISTING. (CERTAINTED LANDMARK FEWTER)
2. SIDING: MATCH EXISTING VINYL VERTICAL SIDING. COLOR: MATCH EXISTING (WHITE)
3. BRICK VENEER: NOT USED
4. FASCIA, RAKE, CORNER, SKIRT & MISC. FLAT TRIM: MATCH EX. METAL-WRAPPED. COLOR: MATCH EXISTING (WHITE)
5. LOUVER(S): MATCH EXISTING. COLOR: MATCH EXISTING (WHITE)
6. GUTTER(S) & DOWNSPOUT(S): MATCH EX. PREFINISHED METAL. COLOR: MATCH EXISTING (WHITE)

GENERAL CONTRACTOR TO COORDINATE AND VERIFY FINAL SELECTIONS WITH OWNER

**Window Schedule**

Type Mark	Nominal Width	Nominal Height	Comments
A	2' - 7 1/4"	6' - 4"	
B	2' - 7 1/4"	6' - 2"	

Date	Description
11/22/24	REV SET
	Revision
	No.



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Addition/Renovation for  
**Mascetti Residence**  
449 Elm Ave, Glendale, MO 63122

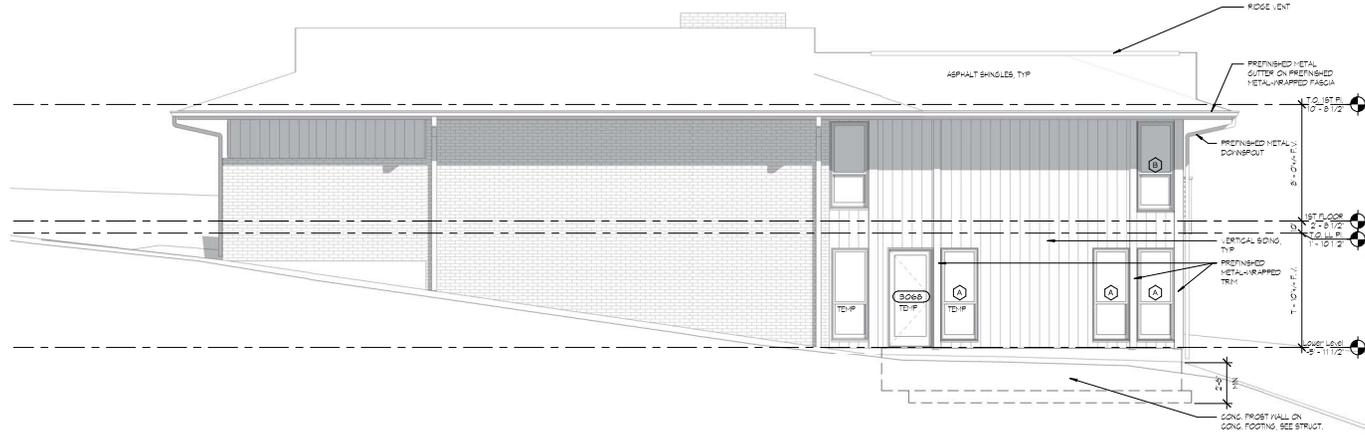
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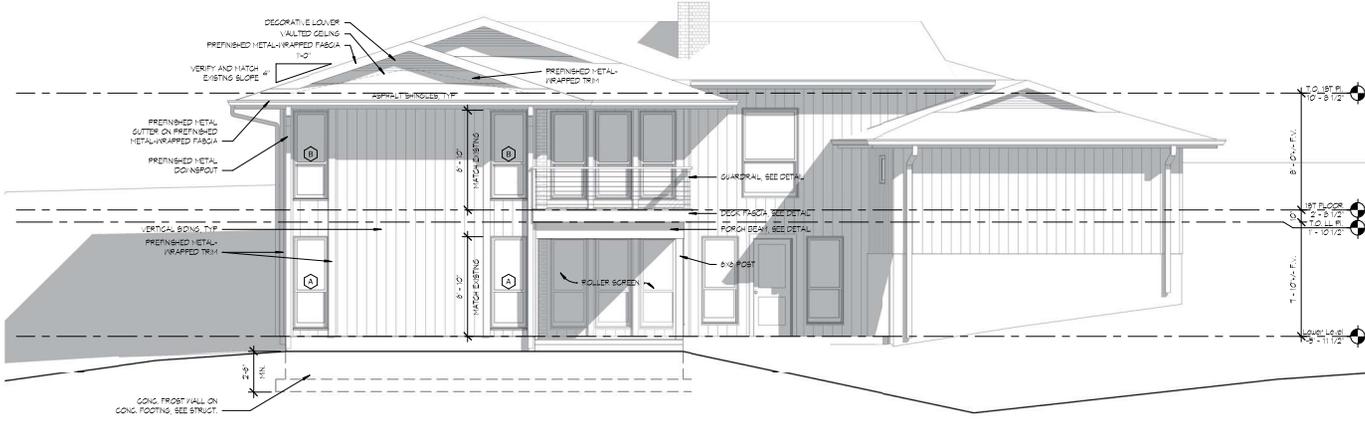
ELEVATIONS-FRONT & LEFT

**A4.0**

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1 RIGHT ELEVATION  
1/4" = 1'-0"



2 REAR ELEVATION  
1/4" = 1'-0"

GENERAL NOTES-ELEVATION

- A SLOPE GRADE AWAY FROM FOUNDATION A MINIMUM OF 1" PER FOOT FOR A DISTANCE OF 8'-0" TO A SWALE.
  - B FOOTING & PERS. BOTTOM OF ALL FOOTINGS TO SET ON UNDISTURBED SOIL. PERS. TO EXTEND A MINIMUM OF 24" INTO UNDISTURBED SOIL. BOTH SHALL BE A MINIMUM OF 18" BELOW GRADE.
  - C CHIMNEY HEIGHT. SHALL EXTEND ABOVE ROOF A MINIMUM OF 3'-0" AT THE POINT OF PENETRATION AND 2'-0" HIGHER THAN ANY PORTION OF THE BUILDING WITHIN 12' HORIZONTALLY.
  - D ROOF FLASHING. PROVIDE CORROSION-RESISTANT METAL FLASHING AT ALL ROOF VALLEYS, WALL AND CHIMNEY INTERSECTIONS, PORCHES, DECKS, ETC. ROLLED ROOFING OR TWO (2) LAYERS OF TYPE I UNDERLAMENT MAY BE SUBSTITUTED FOR FLASHING AT THE ROOF VALLEY PROVIDED THE SHINGLES ARE INTERLACED.
  - E BASEMENT HAVING CONCRETE FOUNDATION WALLS WITH MORE THAN 20% EXPOSURE ABOVE FINISHED GRADE SHALL BE INSULATED. SEE GENERAL NOTES.
  - F GENERAL CONTRACTOR SHALL CONFIRM USE OF ALL TRIM ACCESSORIES AND MODEL NUMBERS WITH SUPPLIER BEFORE ORDERING.
  - G EXTERIOR WINDOW ARE ANDERSON 100 SERIES. COLOR: MATCH EXISTING (WHITE) INTERIOR AND EXTERIOR INSULATED GLASS UNITS (IGU) SHALL BE USED.
  - H REUSED WINDOW CALL OUT SIZES BASED ON WINDOW SUBMITTAL FROM PRIOR RENOVATION. SEE OWNER.
  - I PROVIDE SCREENS AT ALL WINDOWS AND DOORS - CONFIRM W/ OWNER.
  - J PROVIDE 3/4" BLOCKING UNDER DOORS TO ALLOW FOR HARDWOOD FLOOR OR TILE THICKNESS IF REQUIRED PER INSTALLATION MANUAL.
  - K BOTTOM OF ALL WINDOW HEADERS TO BE SET AT TO MATCH EXISTING ON LOWER LEVEL AND FIRST FLOOR AND AS NOTED ON ELEVATIONS.
  - L ALL DOWNSPOUTS TO BE ELBOWED AT BOTTOM AND SUPPLIED WITH CONCRETE SPASH BLOCKS AT GRADE OR CONNECTED TO SUBSURFACE DRAINAGE.
  - M ALL ROOF TRUSSES ARE BASED ON A 2" TOP CHORD AND 2" POINT BEAMS UNLESS NOTED OTHERWISE. RAISED HEELS ARE CALCULATED FROM TOP PLATE TO THE TOP OF THE TOP CHORD AT FACE OF FRAMING. CONTRACTOR TO FIELD VERIFY RAISED HEELS TO ALIGN WITH EXISTING ROOF OVERHANGS.
  - N BRICK VENEER: ALL SOLDIER AND ROWL CORK HEADERS, SILLS, AND TRIM TO MATCH EXISTING UNLESS NOTED OTHERWISE.
  - O DECK DOORS: SECURELY BARRICADE DOORS TO DECK UNLTD DECKS.
  - P WINDOW SILLS, WHERE THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW IS LESS THAN 20" ABOVE THE FINISHED FLOOR AND WHERE THE WINDOW IS LOCATED MORE THAN 17" ABOVE THE FINISHED GRADE OR SURFACE BELOW. THE WINDOW SHOULD BE PROVIDED WITH A WINDOW OPENING CONTROL DEVICE PER SECTION R612.4.2.
  - ADDRESS NUMBERS: PROVIDE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS, OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER SECTION 6318.1.
- ALL THE ABOVE NOTES ARE TYPICAL AND APPLY UNLESS NOTED OTHERWISE.

EXTERIOR COLOR SELECTIONS

1. ROOFING: MATCH EXISTING ARCHITECTURAL ASPHALT SHINGLES. COLOR: MATCH EXISTING. (CERTAINTED LANDMARK PEWTER)
2. SIDING: MATCH EXISTING VINYL VERTICAL SIDING. COLOR: MATCH EXISTING (WHITE)
3. BRICK VENEER: NOT USED
4. FASCIA, RAKE, CORNER, SKIRT & MISC. FLAT TRIM: MATCH EX. METAL-WRAPPED. COLOR: MATCH EXISTING (WHITE)
5. LOUVERS: MATCH EXISTING. COLOR: MATCH EXISTING (WHITE)
6. GUTTER(S) & DOWNSPOUT(S): MATCH EX. PREFINISHED METAL. COLOR: MATCH EXISTING (WHITE)

GENERAL CONTRACTOR TO COORDINATE AND VERIFY FINAL SELECTIONS WITH OWNER

Window Schedule

Type Mark	Nominal Width	Nominal Height	Comments
A	2'-7 1/4"	6'-4"	
B	2'-7 1/4"	6'-2"	

Date	Description
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ELEVATIONS-REAR - RIGHT

**A4.1**

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